



Loma Rica Ranch Specific Plan

Adopted May 2011

SP 07PLN-49

L o m a R i c a R a n c h , L L C



C i t y o f G r a s s V a l l e y

amended by Resolution 2019-12, April 23, 2019

Loma Rica Ranch Specific Plan

Specific Plan 07PLN-49

Plan Adopted (05-11-11)

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Creating a Model Community for the Sierra Region

The vision for Loma Rica Ranch builds upon the basic historic town planning principles that have made Grass Valley such a great place: compact development in the form of walkable neighborhoods that integrate a variety of housing choices; distinguishable centers that accommodate neighborhood-oriented commercial and public uses; tree-lined streets that invite residents to walk; and a large system of parks and open spaces that provides habitat conservation and recreational opportunities for residents and visitors alike. Loma Rica Ranch will set a new standard as a model community that will build upon and strengthen the character of the City.

Purpose of the Specific Plan

The Loma Rica Ranch Specific Plan (LRRSP) enables the development of the Loma Rica Ranch Special Development Area (SDA) as it has been anticipated by the Grass Valley General Plan. Upon approval of the LRRSP, the LRRSP will constitute the zoning for the property, consistent with the regulatory framework set forth in the Specific Plan (SP) zoning designation of the Grass Valley Development Code.

By law, this document will function as customized regulations for the project area that will, where appropriate, supersede the City's existing Zoning Code, Public Works Standards and other applicable regulations. Related documents that are incorporated by reference include the City of Grass Valley General Plan, the City of Grass Valley Development Code and the Grass Valley Capital Improvement Plan and Fee Schedule.

Loma Rica Guiding Principles & Plan Objectives

The plan for Loma Rica is built upon the concepts of sustainability and community in that the human environment and natural environment must support each other. Building on the tenets of New Urbanism, Loma Rica is intended to be a community that meets the needs of people and the environment by providing locally grown food, energy efficient buildings, walkable streets, parks, open space, habitat protection, and a diversity of jobs and housing where people live in the tradition of our great American neighborhoods. The following guiding principles will be used to create a community that will serve as a model for growth and good living.



♦ Create Compact, Connected, Safe and Walkable Neighborhoods by:

- Providing a street pattern of highly connected streets designed with multiple safe and direct route options for pedestrians, bicyclists, motorists and emergency response vehicles.
- Creating mixed-use neighborhoods with business, retail, leisure and civic activity for residents and the greater Grass Valley population.
- Designing streets that encourage walking, bicycling, electric vehicles and other modes of alternative transportation.
- Establishing pleasant, convenient bus stops along walkable streets in mixed-use centers to encourage public transit.
- Planning for sufficient housing density to support additional public transportation opportunities and a vital retail center.
- Optimizing onsite and adjacent road and public service infrastructure, schools, and bike routes by locating most intensive development near these services.
- Ensuring safe streets by orienting homes to provide “Eyes on the Street” to deter crime and provide activity in retail and commercial areas.
- Supporting the Dorsey Drive extension to reduce traffic congestion in the Brunswick basin.
- Improving circulation by providing many entry points to Loma Rica and connections to surrounding lands, and by providing a variety of traffic calming measures.



♦ Reinforce Community Character and Create a Sense of Place by:

- Conserving and reinforcing the historic ranch as an organic farm.
- Creating community gathering spots by providing inviting open spaces, plazas, public courtyards and parks for residents and the broader Grass Valley population.
 - ♦ Neighborhood Parks and Greens: Establish small-scale parks and greens within a 1/4 mile walking distance.
 - ♦ Creek Greenways: Provide enhanced habitat and provide passive recreational areas along appropriate sections of Wolf Creek, Olympia Creek and Whitewater Creek.
 - ♦ Wolf Creek Parkway: Connect to Grass Valley’s planned Wolf Creek Parkway to support this important community amenity.
 - ♦ Plazas and Civic places: Create public spaces for informal interaction and public civic events.
- Retaining important landmarks and view corridors
 - ♦ Preserve MacBoyle Lake, restore lake gazebo and replica of 1939 World’s Fair Exposition fountain.
 - ♦ Conserve historic ranch center and agricultural viewscape along Brunswick Road corridor by maintaining agricultural land as an organic farm.



♦ Enhance Local Economy, Job and Housing Opportunities by:

- Building a wide range of housing types for a diversity of income levels, households and life stages.
- Providing a mixture of building types for commercial activity that respond to near- and long-term economic needs.
- Using local contractors and material suppliers to support the economy of Western Nevada County.
- Creating a rich mix of jobs and form-based building types and residences to support the City’s jobs/housing goals.
- Creating an overall economic benefit for Grass Valley.
- Reducing Grass Valley’s future infrastructure extension costs by developing Loma Rica as infill and facilitating extension of services to Loma Rica Industrial Park.
- Attracting industry to the region by providing a new business park center integrated with high quality affordable housing for employees.
- Providing a high-speed communication infrastructure.

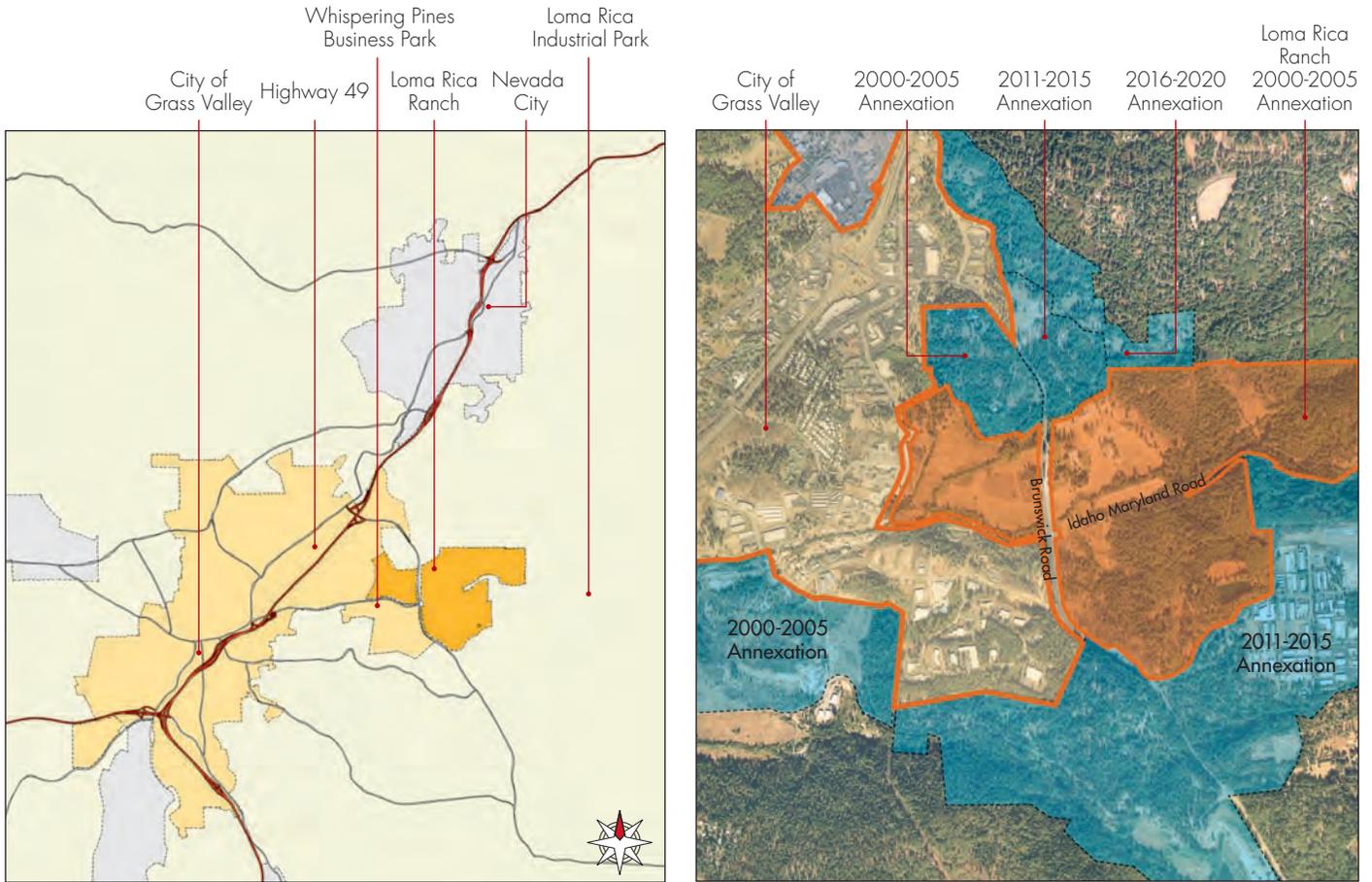
♦ Protect Natural Environment Locally & Beyond by:

- Conserving significant open space and protecting high quality habitat.
- Establishing a model for future development and open space protection by reinforcing the compact, mixed-use form of development.
- Reducing air quality impacts by developing a walkable community with a mixed-use commercial core, which lowers reliance upon automobiles.
- Assisting the City of Grass Valley in meeting the greenhouse gas (GHG) reduction standards in AB 32 by reducing per capita GHG emissions through implementing sustainable land use practices.
- Enhancing energy efficiency by using appropriate building orientation, sustainable design, and green building materials and construction practices.
- Protecting Wolf, Whitewater and Olympia Creeks and improving water quality through the use of catchments basins and open space.

♦ Create a Traditional Neighborhood Development which provides the critical density that is necessary to support a community where:

- Residents can live a healthy lifestyle that allows walking from home to the nearby vibrant commercial center where social, work, and retail venues are plentiful and provide for essential services.
- The economics of the development can support its open space, hiking/riding trails, organic farm, landscaped parks, public plazas and other public amenities.
- There is enough commercial activity in the Loma Rica retail center to establish a nearby commercial link with the Brunswick Basin so Grass Valley residents can take advantage of the differing retail opportunities in these proximate commercial centers.

Back Side of Project Objectives 11x17



Site Location and Overview

Loma Rica Ranch consists of eight contiguous parcels measuring approximately 452 acres located 1.5 miles east of downtown Grass Valley and .4 miles south of the Glenbrook Basin. Brunswick Road runs north-south through the approximate center of the site, and the intersection of Idaho Maryland Road and Brunswick Road is the primary point of circulation within the project area. The western edge is primarily defined by Sutton Way and the Whispering Pines Business Park; the eastern edge is defined by the Nevada County Airpark and the Loma Rica Industrial Park; and the southern edge is defined by Loma Rica Drive. The Grass Valley General Plan identifies the Loma Rica Ranch SDA within the Core Area, with a 2005 annexation horizon.

Loma Rica is an infill site. It abuts Grass Valley’s city limits for nearly a mile along its western and southern edges, along Sutton Road, Idaho Maryland Road, and Brunswick Road. The property is completely surrounded by existing development of many different land uses. Whispering Pines Business Park provides light industrial, office, and commercial uses and is home to as many as 750 jobs. Additional commercial and multi-family residential properties line the western border of the site along Sutton Way. The Loma Rica Industrial Park provides approximately 950 jobs. To the north and northeast, low-density residential development borders the property.

[Above] The Loma Rica Ranch property is contiguous with the eastern edge of the City of Grass Valley. It is 0.4 miles to Brunswick Basin, 0.6 miles to Hwy 49/20 and the Glenbrook Basin via Brunswick Road and 0.8 miles to Highway 49/20 via Idaho Maryland Road.

With the eventual annexation of the Nevada County Airpark and surrounding parcels set for 2015, Loma Rica will be nearly surrounded by the City of Grass Valley.

Summary of the Process

The Plan for Loma Rica has been formulated through a significantly interactive process involving community members, neighborhood groups, architects, planners, political officials, city staff, specialized consultants (traffic, geology, etc.) and public presentations since early in 2003.

The process started with a series of presentations. The first was a January 2003 presentation to the Grass Valley City Staff and members of the City Council. This was followed by a public presentation in February 2003 to a joint session of the Grass Valley City Council, the Grass Valley Planning Commission and interested members of the community. This meeting was covered by local print and broadcast media with articles and stories. Responses and opinions received in those meetings were incorporated into the evolution of the planning process.

Design Charrette

The design process was significantly expanded when a public, “open door” design process was held in March 2003. This was a three day, public-invited “charrette” held at the Loma Rica Ranch from Friday, March 14th through Sunday, March 16th. Invitations and announcements were mailed and communicated to the public, community groups, political entities and special agencies. Over 100 persons attended some portion of the charrette. Some attended all three days. Representatives of the following groups attended the charrette: the Grass Valley City Council, Grass Valley Administration, Public Works and Planning Staffs, Nevada County Board of Supervisors, and Nevada County Administrative, Planning, and Transportation Departments. Other groups attending were: the Nevada County Transportation Commission, Local Area Formation Commission, Grass Valley Neighbors Association, Sierra Club, Nevada County Contractors Association, Nevada County Land Trust, Wolf Creek Community Alliance, Sierra Resource Strategies, South Yuba River Citizens League, Sierra Business Council, Rural Quality Coalition, Grass Valley Downtown Association, and many members of the public not connected with specific groups.

The charrette was an open forum in which anyone with a particular interest could witness and be involved in the design process. The charrette was facilitated by a wide variety of professionals from around the nation who have specialized experience in planning traditional neighborhoods: Dan Parolek and Stefan Pellegrini of Opticos Design, Berkeley, CA; Kevin Klinkenberg and staff of 180 Degree Design, Kansas City, MO; Patrick Siegman of Nelson\Nygaard & Associates of San Francisco, CA; Darin Dinsmore of the Sierra Business Council, Truckee, CA; and Tom DiGiovanni and John Anderson of Heritage Partners, Chico, CA. Local attendees and facilitators were McProud & Associates, Nevada City, CA; Holredge and Kull, Nevada City, CA; Mogavero Notestine & Associates, Sacramento, CA; and Nevada City Engineering, Nevada City, CA.



Creek Corridor and Open Space Workshop

In May 2004, a Creek Corridor and Open Space Workshop was also held. It brought together designers, specialists, and stakeholders to formulate a series of design and management strategies for Loma Rica's open space. This workshop laid the foundation for much of the work contained in the Open Space chapter of this Specific Plan.



Specific Plan Organization

The Loma Rica Ranch Specific Plan is organized into eight chapters.

1. Introduction

The Introduction describes the vision and the purpose of the Plan and sets its context within the City of Grass Valley.

2. Site Overview

This chapter provides information on the physical disposition of the property, its natural features, and site constraints.

3. Vision Plan

The Vision Plan chapter describes the vision for the future of the property and the proposed distribution of land uses.

4. Form-Based Code

Chapter 4 describes the physical design of the property, including: the layout and design of streets, the location and extent of the land uses planned for the area, and the development standards that will shape new structures. Unlike some conventional specific plans, this Plan provides a set of "Form-Based" standards in keeping with the City's Development Code.

This chapter's graphically oriented "Loma Rica Ranch Zone Description" and zone standards describe the required urban and architectural design patterns, allowed land uses, and development intensities that may be achieved under the Specific Plan. "Building Types" and "Architectural Styles" guide the architectural character of new buildings within the Plan area. "Landscape Patterns" describe landscape requirements for private lots. "Street and Circulation Standards" describe and regulate the design of publicly-accessible rights-of-way, focusing on a circulation system that balances the use of all travel modes, including automobiles, pedestrians, and bicycles.



5. Open Space, Conservation and Cultural Assets

This chapter describes the open space amenities contained within the property and a possible scenario for the use of this open space as an interconnected network of parks and trails.

6. Infrastructure and Utilities

This chapter provides a summary of infrastructure systems and public services necessary to support the Specific Plan.

7. Phasing and Implementation

This chapter describes how the specific plan will be implemented.

8. Appendix



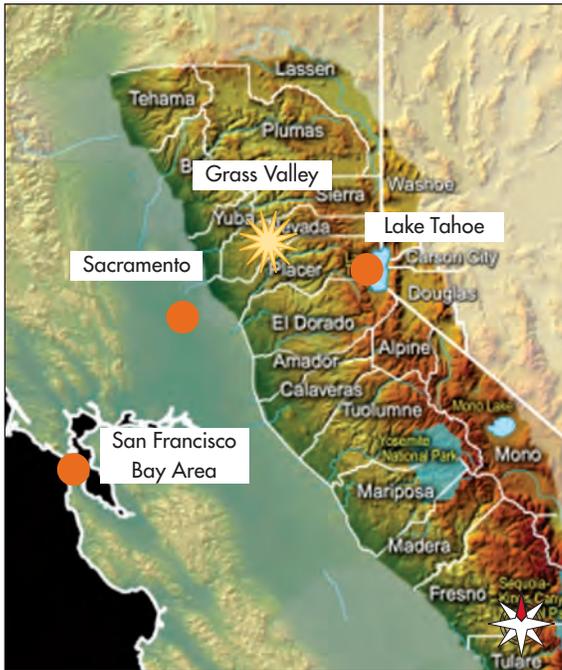
Relationship to the Grass Valley General Plan

Government Code Section 65454 requires that a Specific Plan be consistent with the General Plan as amended, and that it contain a statement regarding its relationship to the General Plan.

By law, this document will function as customized regulations for the project area that will supersede the City’s existing Development Code, Public Works Standards and other regulations that address the same topics as those discussed herein. Related documents that are incorporated by reference include the City of Grass Valley Development Code and the Grass Valley Capital Improvement Plan and Fee Schedule, to the extent these documents are not inconsistent with the provisions set forth herein.

The Grass Valley General Plan contains policies, goals, and objectives which apply to the presently incorporated area and the broader sphere of influence. Chapter 7 outlines a number of policies, goals, and objectives with which the Specific Plan is consistent.





Regional Context

Grass Valley is located in the western foothills of the Sierra Nevada Mountains, about 60 miles northeast of Sacramento, 150 miles northeast of San Francisco, and 70 miles west of Lake Tahoe. Home to approximately 13,000 people, Grass Valley is valued for its small-town, rural character, pervasive history and strong sense of community. Despite this small-town feel, the City serves nearly 70,000 people as a regional economic and cultural hub for western Nevada County and much of the surrounding area. It provides a large employment base for many business uses, an expanding medical community and a growing educational center in Sierra College.

The 452-acre Loma Rica Ranch property, contiguous to the east side of the City of Grass Valley, is one of several major parcels under consideration by the City for annexation as a “Special Development Area” (SDA). As the population of Grass Valley and its immediate environs are projected to grow to nearly 24,000 people by the year 2020, the physical expansion of the City will become necessary to accommodate the City’s growth. In order to preserve the character of the surrounding area, the General Plan has cited the development of the Loma Rica SDAs as a prime opportunity.

Site Description



Key

City of Grass Valley

Site Description

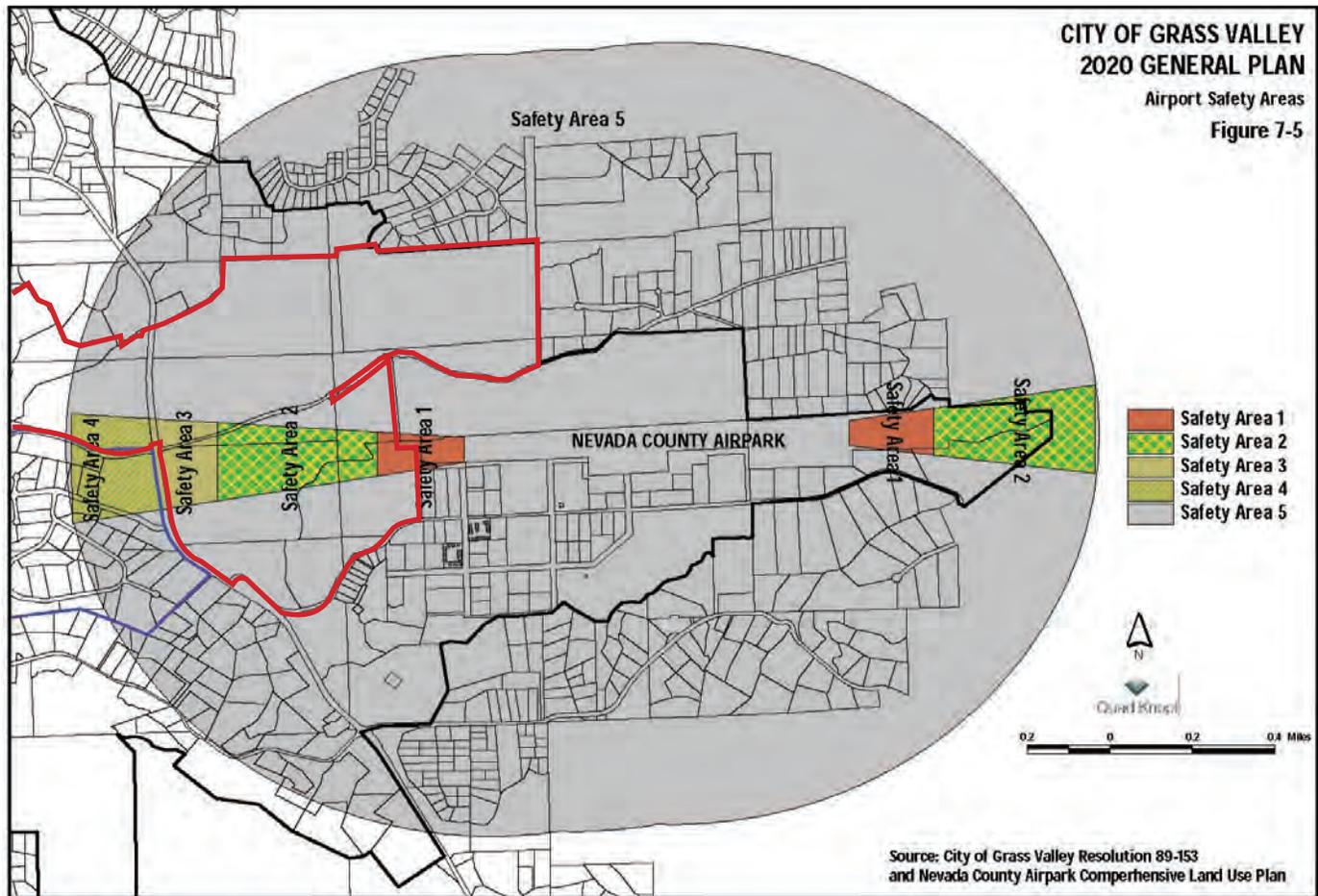
The Loma Rica Ranch property is located approximately 1.5 miles from downtown Grass Valley and 3.1 miles from downtown Nevada City. It is directly contiguous to Grass Valley's city limits for nearly a mile along its western and southern edges, along Sutton Road, Idaho Maryland Road, and Brunswick Road.

The 452-acre site has an irregular shape with a maximum east-west dimension of about 1.3 miles and a maximum north-south dimension of about .9 miles. The property has frontage on both sides of Brunswick Road and Idaho Maryland Road, as well as frontage along the eastern edge of Sutton Way. The central part of the property consists of relatively flat, former horse paddocks within a gently sloping basin, with steep ridges rising on the perimeter of the site. The Ranch formerly was home to a thoroughbred racehorse facility.

The site is divided into three major sectors by Brunswick Road, crossing the site from north to south, and by Idaho Maryland Road, which crosses the property from east to west. The Whispering Pines Business Park development, located southwest of the site, occupies the fourth quadrant of the intersection created by these arterial streets.

[Above] Loma Rica Ranch is directly contiguous to the City of Grass Valley's border for nearly a mile along its western edge. Loma Rica Ranch is the only SDA in the Grass Valley General Plan's Core Area, which places Loma Rica Ranch within its 2005 annexation horizon along with the Brunswick Basin to the north. With the eventual annexation of the Loma Rica Industrial Park and surrounding parcels anticipated in 2015, Loma Rica Ranch will be nearly surrounded by the City of Grass Valley.

Airport



Airport

The nearby Nevada County Airpark designates a safety restriction area over a substantial portion of the Loma Rica Ranch. This safety area essentially restricts land uses and densities in the designated Airport Safety Area.

These zones, illustrated in color, are as follows:

Safety Area 1 (Clear Zone): No permitted development.

Safety Area 2 (Approach/Departure Zone): Limited residential use, no retail and most commercial uses may be compatible if they do not result in an average density of greater than 25 persons per acre.

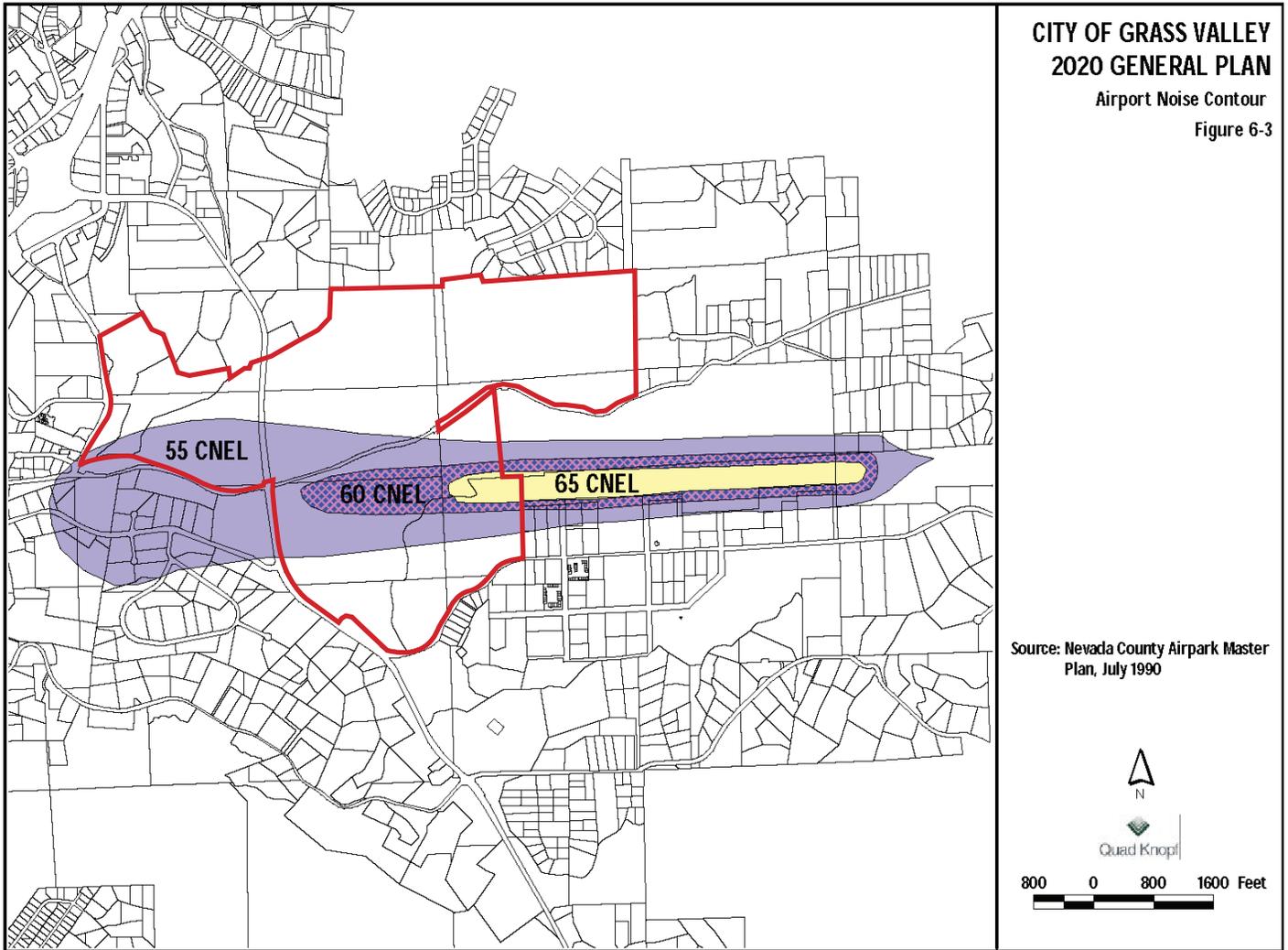
Safety Area 3 (Approach/Departure Zone): Limited residential use, retail and most commercial uses may be compatible if they do not result in an average density of greater than 50 persons per acre.

Safety Area 4 (Approach/Departure Zone): Limited residential use, retail and most commercial uses may be compatible if they do not result in an average density of greater than 75 persons per acre.

Safety Area 5 (Overflight Zone): Development within the Lakes, Trailhead, and Creeks Neighborhoods will comply with the density standards established in the Airport Safety Areas.

Key

Loma Rica Ranch Specific Plan Boundary



The Airport also designates a 60 CNEL (Community Noise Equivalent Level) contour that serves as a boundary for noise-related land use restrictions. Site planning at Loma Rica Ranch has taken these constraints into account, to ensure that new development is compatible with California and Airport regulations.

Development within the Lakes Neighborhood will comply with the noise standards established by the Airport Land Use Plan and the City General Plan.

Key

- Loma Rica Ranch Specific Plan Boundary



Introduction

The Plan for Loma Rica Ranch builds upon the history of the ranch site and the historic patterns of Grass Valley and other Sierra communities. The Loma Rica Ranch Specific Plan provides compact pedestrian-oriented growth; accommodates a wealth of publicly accessible open spaces, trails and recreation areas; integrates a wide range of housing types; and provides uses that will continue to attract residents and visitors to Grass Valley. As Grass Valley continues to grow, the Traditional Neighborhood Development pattern proposed in the Plan will help to maintain the local quality of life, an important goal of the community.

The design of Loma Rica Ranch is based on the premise that good design creates places of long lasting value. Its physical proximity to Grass Valley's historic center and a variety of light industrial and commercial uses encourages Loma Rica Ranch to develop as a mixed-use center that complements the existing uses that surround the site. The Loma Rica Ranch Specific Plan creates unique places that encourage the healthy growth of the City while preserving the site's important cultural and environmental amenities.

Program Summary

West of Brunswick Road:

The Creeks Neighborhood *

- 81.6 total acres
- 3.1 acres for Sutton Way Extension
- 0.8 acres of parkland
- 5.0 acres Neighborhood Special District along Sutton Way/ Centreville Road (max. F.A.R.=0.4 or 66,211 sq. ft.)
- 29.8 acres Neighborhood Open Space
- 25.0 acres Neighborhood Single Family Lots
- 5.6 acres Neighborhood Alley Lots
- 7.1 acres Neighborhood Duplex Lots
- 5.2 acres Neighborhood Multi-Family
- Maximum residential units: 310 (single-family 124; alley lots 51; duplex lots 60; multi-family 75)

East of Brunswick Road:

The Farm Neighborhood *

- 91.5 total acres
- 2.0 acre pocket park
- 13.7 acres Organic Farmland
- 24.5 acres of conserved open space/creeks/basin
- 5.9 acres Neighborhood Commercial Zone (commercial/mixed use/residential) (49,000 sq. ft. max; including existing shop/barns and house)
- 29.6 acres Neighborhood General zone (residential density of 6 to 20 du/ac)
- 15.8 acres Neighborhood Edge zone (residential density of 1 to 8 du/ac)
- Maximum residential units: 298 (single-family 268; multi-family 30)

Lake Neighborhood

- 25.9 total acres
- 7.8 acre open space, park including lake feature and basin
- 1.1 acres Neighborhood Commercial zone (residential, mixed-use, commercial/retail=5,000 sq. ft. max.)
- 15.7 acres Neighborhood General zone (residential density of 6 to 20 du/ac)**
- 1.3 acres Neighborhood Edge zone (residential density of 1 to 8 du/ac)**
- Maximum residential units: 102 (single-family 78; multi-family 24)**

**Development density and locations to comply with 7/10/12 settlement agreement between city of Grass Valley and NC Airport Land Use Commission.

The Trailhead Neighborhood

- 31.3 total acres
- 8.5 acres open space, wetland, and basin
- 22.8 acres Special District zone (max. F.A.R.=0.3 or 297,950 sq. ft.)

Conserved Open Space/Creeks

- 221.5 acre conserved open space

Total (East and West of Brunswick Road):

- Site: 452 acres
- Developed Land: 143 acres or 32% of total site
- Open Space: 308.5 acres or 68% of total site including parkland, wetlands, creeks, organic farmland, and conserved open spaces.
- Special District zone: 27.8 acres of Business and Light Industrial uses.
- Neighborhood Commercial zone: 7.03 acres or 54,000 sq. ft. of Commercial/Retail
- Maximum residential dwelling units: 700*

*The 700 dwelling units include any dwellings within the Special district and Neighborhood Commercial zones.

***Amended by Resolution 2019-12, April 23, 2019**

Illustrative Neighborhood Framework Plan

The locations and layouts of roads, streets, block structures, and public spaces in the Illustrative Neighborhood Framework Plan are illustrative in nature and subject to change and refinement through the subdivision process based on actual field conditions and other unforeseen constraints. Minor adjustments to the locations and alignments of buildings, streets, alleys, blocks, and open spaces may result. Final road alignments and land arrangements will be in substantial compliance with this Specific Plan, as determined by the Director.

Chapter 4 (Form-Based Code) provides standards and regulations with regards to built-form, architecture, landscaping, and streets and circulation.

A The Creeks Neighborhood

The 81.6-acre Creeks Neighborhood is primarily residential, with mixed housing types, neighborhood and regional trails.

B The Farm Neighborhood

The 91.7-acre Farm Neighborhood will provide a compact walkable neighborhood that builds upon the history and cultural presence of Loma Rica Ranch within the community of Grass Valley. The Loma Rica Organic Farm and neighborhood center (commercial/retail) will provide a dynamic social center for the neighborhood, incorporating organic farming and community garden.

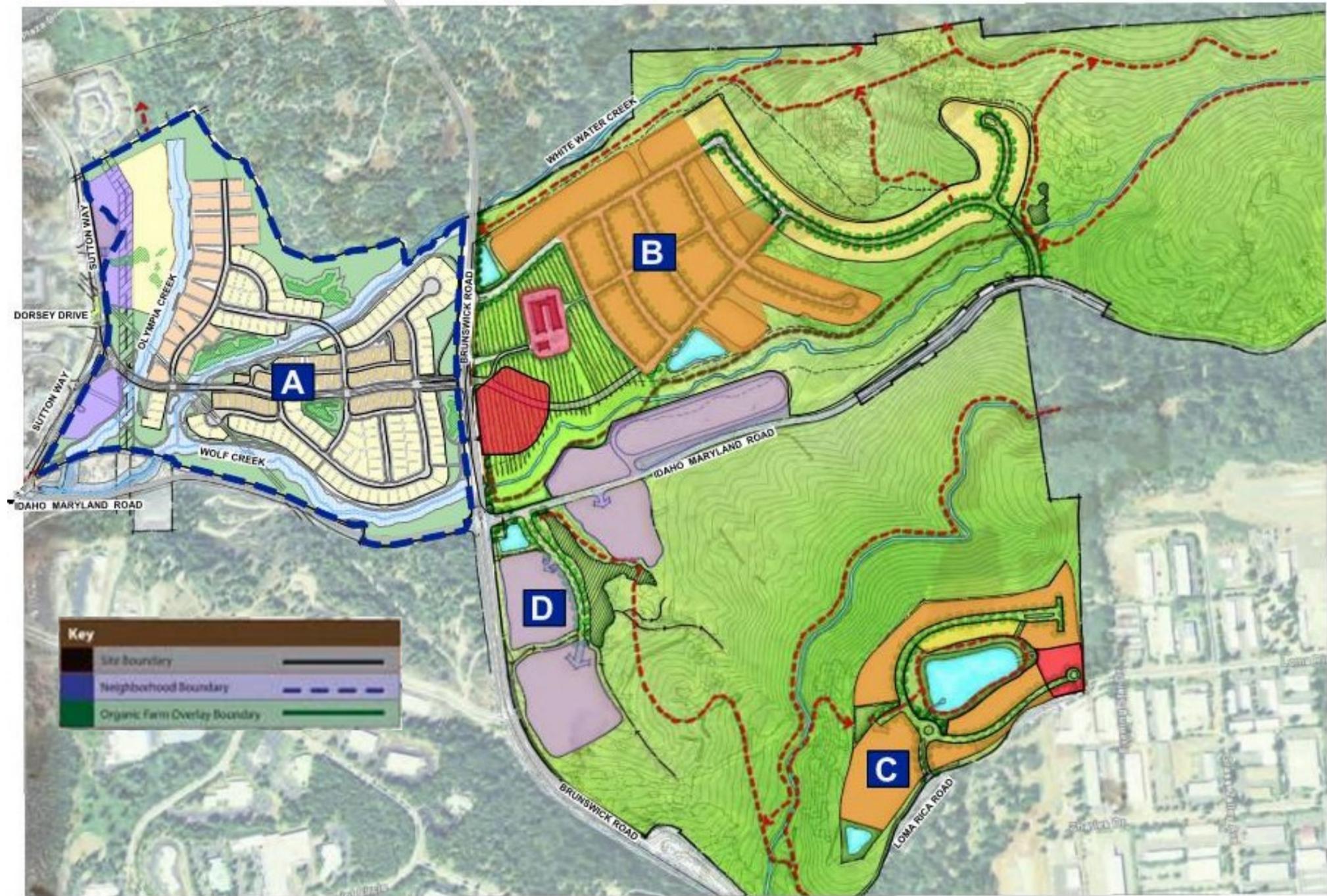
C The Lake Neighborhood

The 25.9-acre Lake Neighborhood will provide a compact, walkable neighborhood that builds upon the existing framework of the Loma Rica Lake, pavilion, and fountain.

D The Trailhead Neighborhood

The 31.3-acre Trailhead Neighborhood will provide a setting for commercial and light industrial uses within a pedestrian-oriented framework. The trailhead Neighborhood will allow easy pedestrian/bicycle access to the other neighborhoods and adjacent open space amenities.

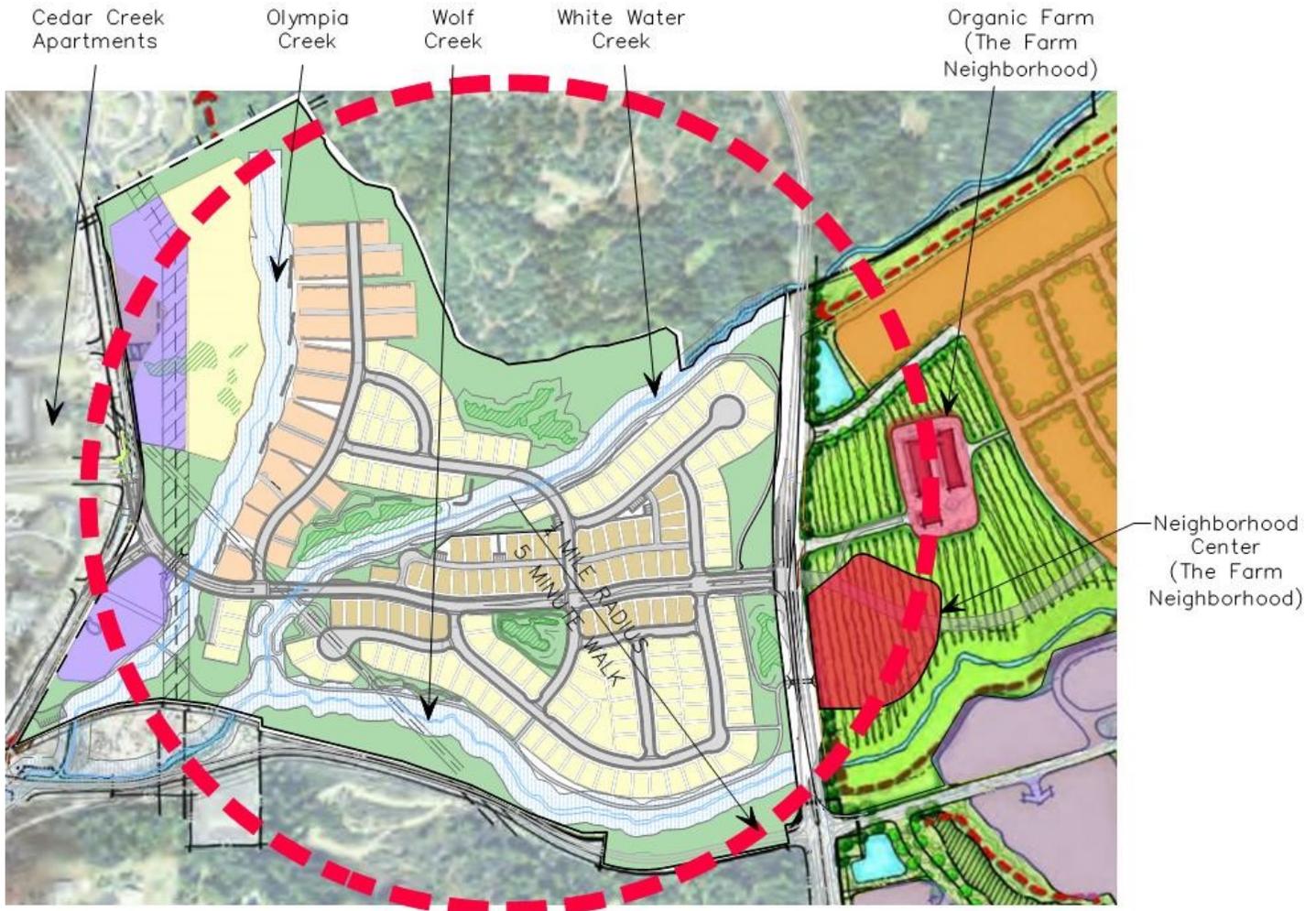
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Neighborhood Framework Plan

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The Creeks Neighborhood



The Creeks Neighborhood

This 81.6-acre neighborhood is located in the western sector of the Loma Rica project site, between Dorsey Drive and Brunswick Road. The neighborhood combines residential, light-industrial, larger footprint commercial, and business park uses within a pleasant walking distance of each other, along with the extension of Sutton Way that extends to Brunswick Road.

The 5.7acres Neighborhood Commercial is provided east of Brunswick Road, and is part of the “Farm Neighborhood.” The commercial area is connected to the Creeks Neighborhood via Brunswick Road undercrossing allowing pedestrian connection to the commercial area and the Neighborhood farmers market.

Key Plan



***Amended by Resolution 2019-12, April 23, 2019**

Near Sutton Way, on the neighborhood’s western edge, small development parcels will accommodate approximately 5.0 acres of office and light industrial buildings, supporting the City’s continued commitment to the development of light-industrial uses.

The residential neighborhood will include a mix of for-sale and for-rent single family units, alley units, and duplex units, fronting on tree-lined streets. The open space area will be reserved throughout the plan, much of which for trails and passive recreation.

The Creeks Neighborhood

81.6 Total Acres

235 Dwelling Units and up to 75 multi-family (310 total)

A minimum of 5 Building Types (excluding commercial block and non-residential) shall be used within the Creeks Neighborhood.

- Single Family (Front Loaded)
- Single Family (Rear Loaded)
- Duplex
- Multi-family (up to 75 units)

Each neighborhood shall include a mix of Architectural Styles as noted in Chapter 4.

30.6 acres of parks and open space within the immediate boundary, including restored riparian corridors along creeks, and a variety of small neighborhood parks, and green spaces

Up to 66,211 sf along Sutton Way and Centerville Road that will include larger footprint commercial, light industrial, and business park uses.

Illustrative view shows examples of the single family unit used in the Creeks Neighborhood.



Single Family Unit



Alley unit

Duplex Unit

***Amended by Resolution 2019-12, April 23, 2019**

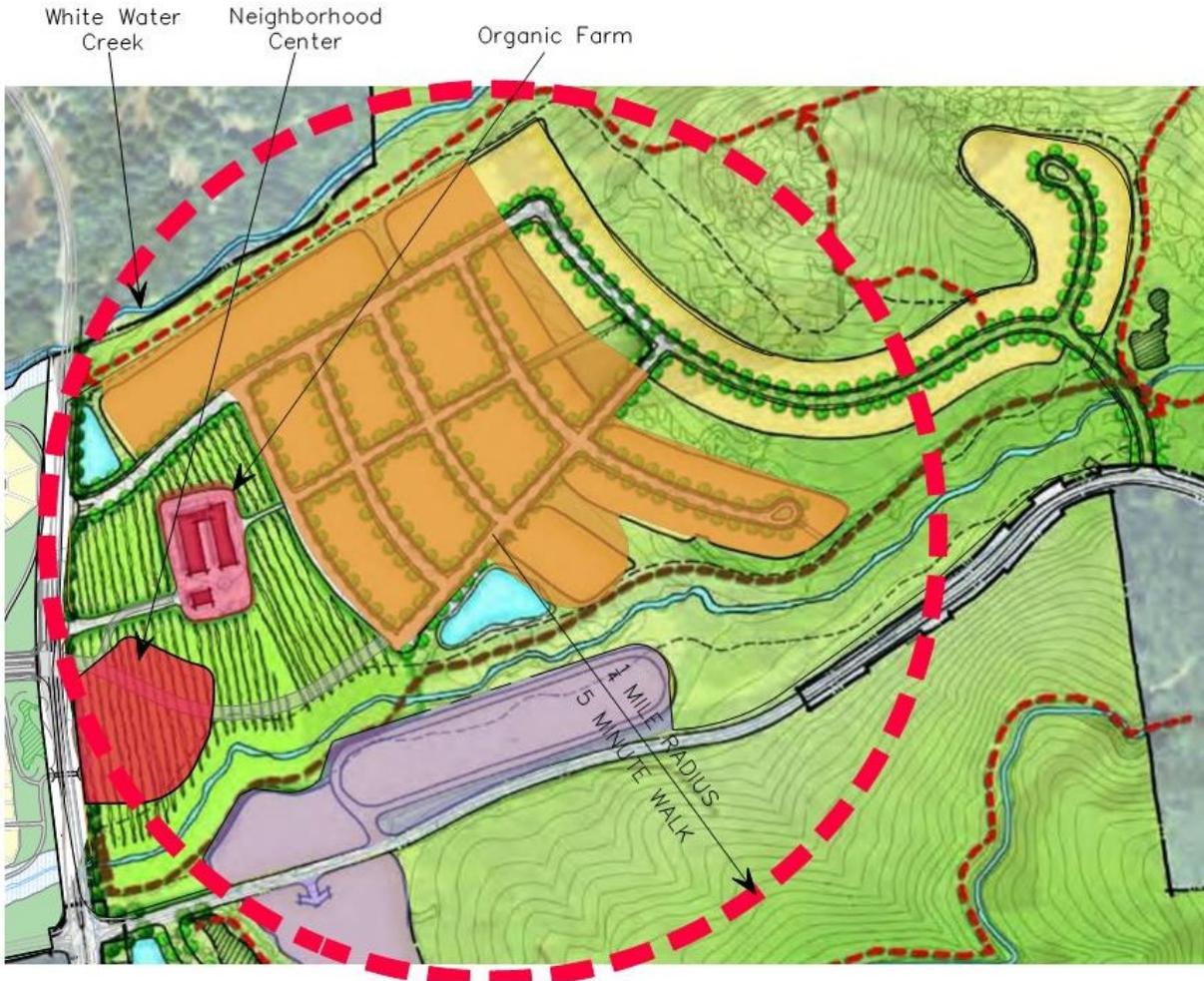


Illustrative view of a mixed-use building with a double story porch and patio overlooking White Water Creek.



Illustrative view across a proposed green illustrating the active street edges within the mixed-use Village Center.

The Farm Neighborhood



The Farm Neighborhood

At the heart of Loma Rica Ranch is the Farm Neighborhood, revolving around the Ranch barns and farmhouse that have served as an emblem of the site for decades. The 91.7-acre Farm Neighborhood will be located east of Brunswick Road and north of Idaho-Maryland Road. The Neighborhood Center is expected to provide services, and goods that support the Loma Rica neighborhood.

The physical structure of the Neighborhood will be defined by the revitalized farm and agriculturally-oriented commercial center along its western edge, public access to the Wolf Creek Linear Greenway to the south and public access to White Water Creek to the north.

A network of streets and blocks will integrate the open-space, homes, and neighborhood serving commercial uses. Development within the commercial center shall incorporate public open spaces, provide orientation of buildings to the creek and public spaces.

Key Plan



***Amended by Resolution 2019-12, April 23, 2019**



[Above] Illustrative view of the Farm and adjacent neighborhood

[Below-right, and on the following page for illustrative purposes only] The Farm Neighborhoods will be typical of Loma Rica Ranch neighborhoods in that it will provide a wide range of housing types and styles; including live-work units, bungalow courts and duets.

The Farm Neighborhood

91.5 Total Acres

- 298 Dwelling Units
- Minimum of 5 Building Types (excluding Non Residential) See Building Types in Chapter 4
- Single Family (Front Loaded)
- Single Family (Rear Loaded)
- Motor Court
- Linear Green Court
- Bungalow Green Court
- Row House
- Live/Work

Each Neighborhood shall include a mix of Architectural styles as noted in Chapter 4.

13.7 acre Organic Farm incorporating organic farming and agritourism uses such as: farm stands, fairs, festivals, pumpkin patches, Christmas tree farm, weddings, orchard dinners, barn dances, community gardens and more. 5.9 acres of Commercial Center to provide up to 49,000 sq ft. of Commercial/Retail uses.

32.6 acres of parks and open space, including passive open space, the organic farm, and neighborhood pocket parks.

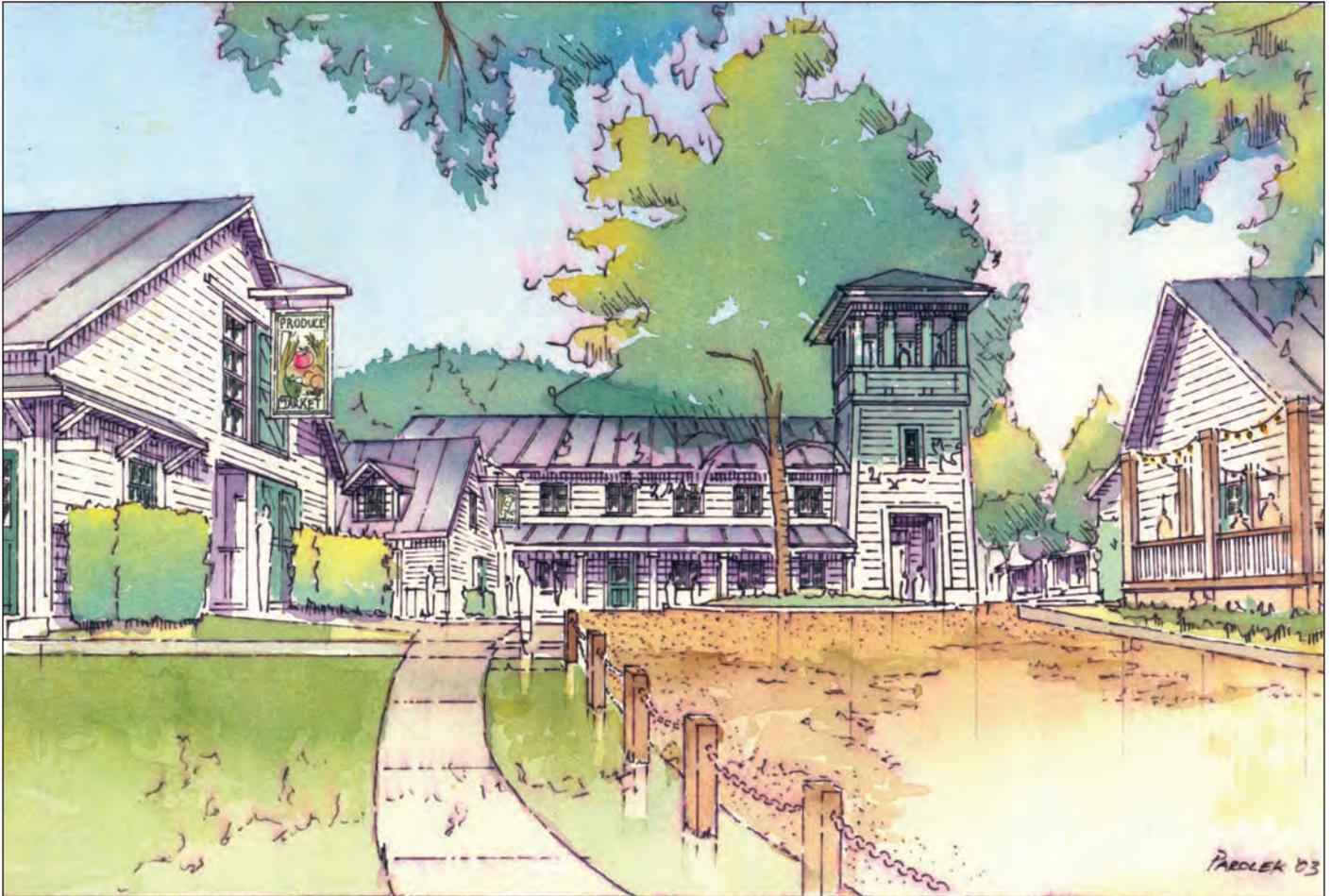


Live-Work

Neighborhood House

Bungalow Court Houses

***Amended by Resolution 2019-12, April 23, 2019**



[Above] Loma Rica Ranch will adaptively re-use the barns for a commercial use.





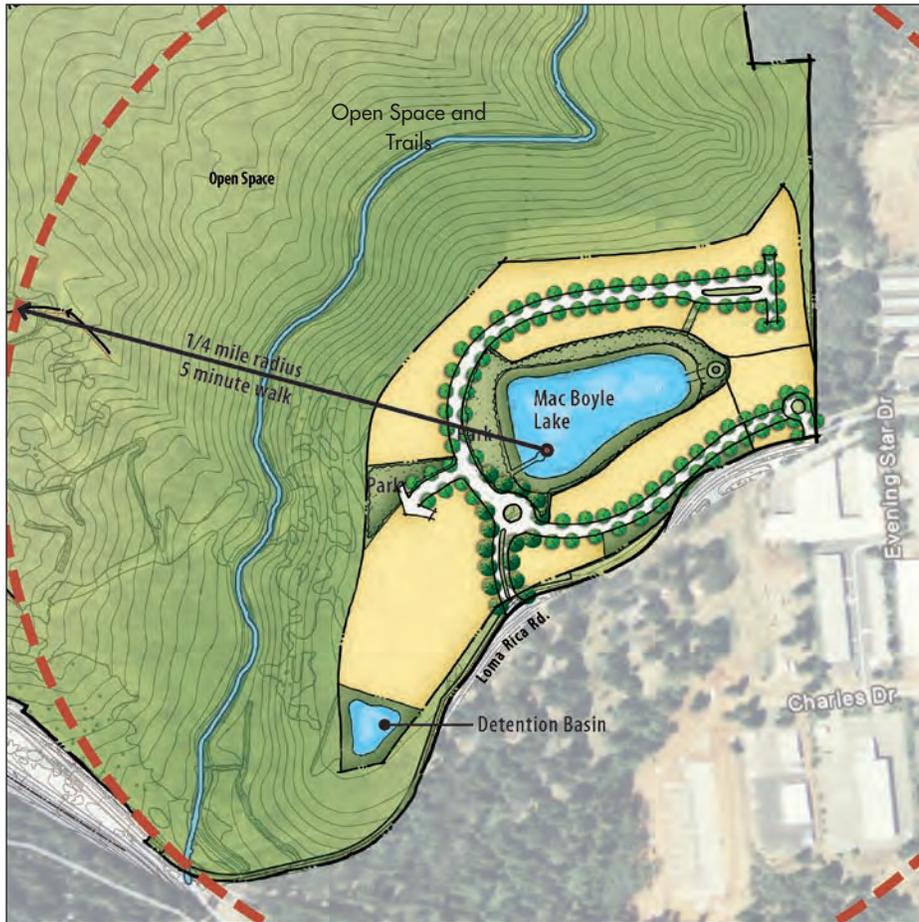
The Loma Rica Organic Farm

Forming the core of the Farm Neighborhood is the Loma Rica Ranch Organic Farm. Installed in 2003, the Farm gained certification by the California Certified Organic Farmers (CCOF) in 2007. A wide variety of vegetables and berries are available, including many heirloom and hard-to-find varieties. An on-site Farm Stand is the primary venue for sales, and may one day be expanded into a neighborhood grocery store where residents of Loma Rica Ranch and the greater Grass Valley community can come to purchase organic produce and other high quality food items. In several more seasons, the orchards will provide an array of fruits, including apples, peaches, pears, figs, nectarines and others.

The farm can be operated by a private entity, residents in the neighborhood, or for school purposes.

[Above] Three images of the Loma Rica Ranch Organic Farm. At left, recently renovated barn. Above right, draft horse demonstration during the annual Small Farm Progress Days. Bottom right, newly-planted organic row crops.

The Lake Neighborhood



The Lake Neighborhood

This 25.9-acre neighborhood will grow around the existing Lake in the southeast portion of the site. This neighborhood will seek to integrate houses in an intimately scaled network of streets and blocks surrounding the lake. Housing choices will include a variety of options, such as single-family units, cottages and attached multi-family. Workforce housing will also be accommodated within the neighborhood. Up to 5,000 sf of retail will be permitted.

The neighborhood will integrate the lake into an interconnected network of paths and open spaces. A well-defined trail system will provide connections to the Lake from the adjacent neighborhoods.

The Lake Neighborhood

25.9 Total Acres

Minimum of 3 Building Types (including Non Residential) See Building Types in Chapter 4

Single Family (Front Loaded)

Single Family (Rear Loaded)

Motor Court

Linear Green Court

Bungalow Green Court

Row House

Each Neighborhood shall include a mix of Architectural styles as noted in Chapter 4.

7.8 acres of parks and open space within the immediate boundary, including Lake facilities, trails and neighborhood parks

Up to 5,000 sf of retail uses



[Above] Illustrative perspective looking southeast across the Lake toward proposed commercial uses. The view is taken from the existing arched walkway and pavilion.

Key Plan



Loma Rica Ranch Specific Plan

The Trailhead Neighborhood



The Trailhead Neighborhood

This small, 31.3-acre neighborhood will be located at the “crossings” of Brunswick Road and Idaho Maryland Road, in close and convenient proximity to many business service opportunities within Whispering Pines Business Park and Loma Rica Industrial Park.

The horse track shown in the graphic above will not be retained as a horse track. It will be developed as part of the business park. Its proximity to Wolf Creek and the open space will provide a pleasing environment for the people who work in the business park.

The Trailhead Neighborhood is subject to extensive physical constraints due to the presence of creeks and wetlands and the Nevada County Airpark safety restriction area. The safety restriction area designates areas of restricted residential development and low-density development beneath the flight path of the airpark.

Due to these constraints, this neighborhood has been designated a Special District and defined around commercial and light industrial uses. The neighborhood’s open space includes a riparian area. The heavily-treed south western edge of the neighborhood along Brunswick Road will also be conserved. Approximately 100 acres of open space surround the Trailhead Neighborhood.

Prior to any development in the Trails Neighborhood, the applicant shall identify and dedicate 6,000 to 8,000 square feet of land for a memorial site to recognize the historical value of the horse Noor.

The Trailhead Neighborhood

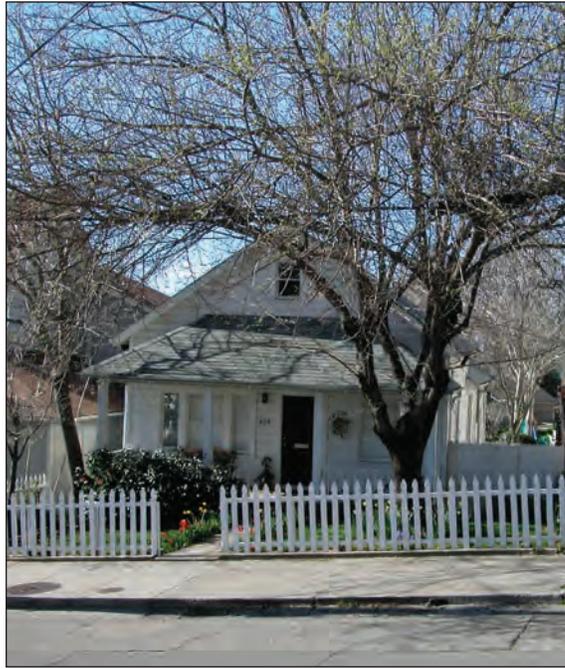
31.3 Total Acres

8.5-acres of open space, wetlands, and basin

297,950 sf of commercial incubator, light industrial, and business park uses

Key Plan





Ensuring High-Quality Development

The plan for Loma Rica Ranch has been developed after careful and detailed study of the best qualities of traditional Sierra Foothill towns. With a coherent, well-connected framework of streets, small-scaled blocks, and a distinct relationship to existing topography, the site plan has been designed in the tradition of places such as downtown Grass Valley, Nevada City, and Sutter Creek.

This vision for Loma Rica Ranch extends from the neighborhood framework to the scale of individual buildings, which in their site planning, form, and architectural detail will emulate the best qualities of traditional Sierra Foothill towns.

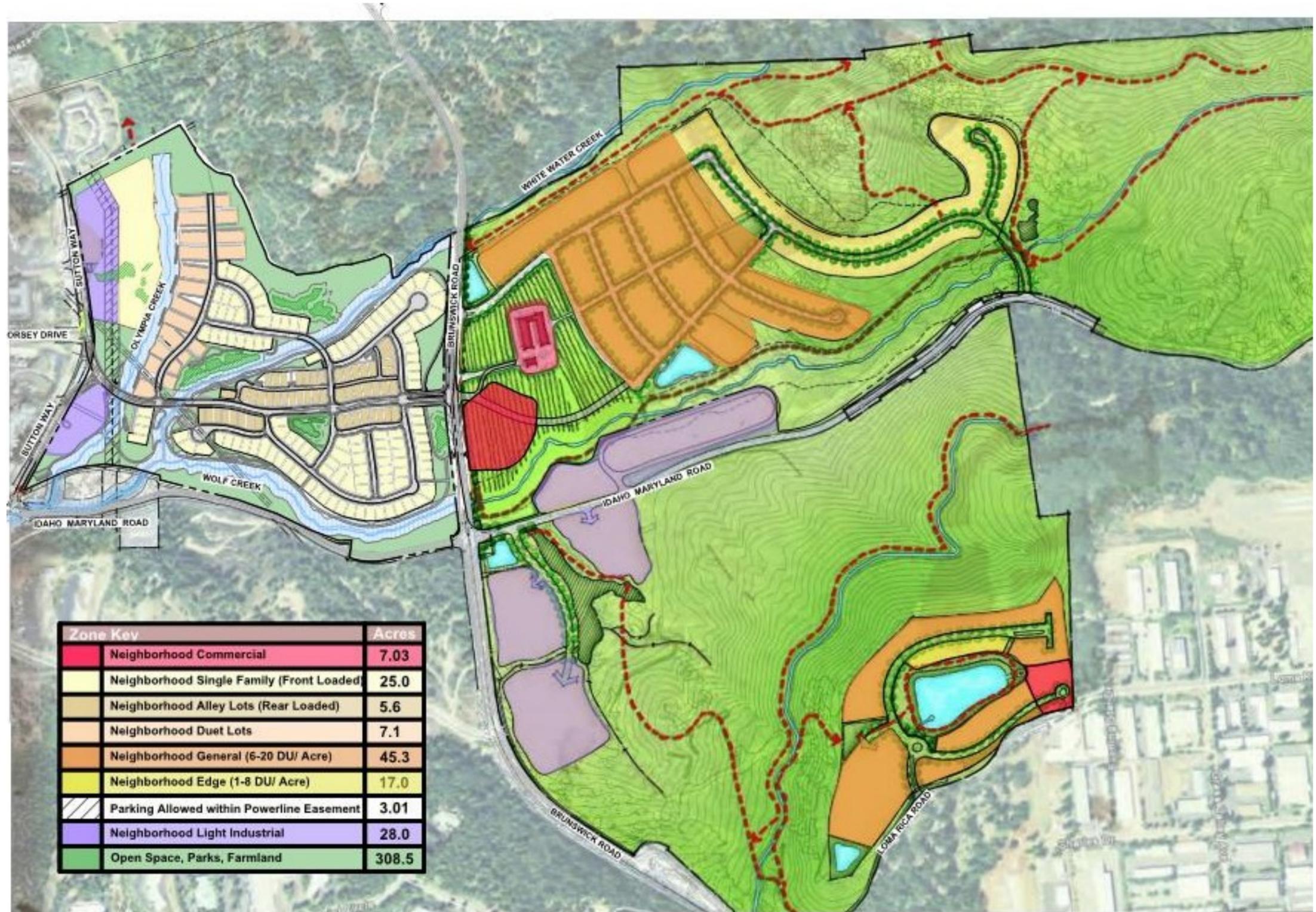
The development standards on the following pages have been created to guide and direct the development of Loma Rica Ranch's neighborhoods.

Regulating Plan

The locations and layouts of roads, streets, block structures, and public spaces in the Regulating Plan are illustrative in nature and subject to change and refinement through the subdivision process based on actual field conditions and other unforeseen constraints. Minor adjustments to the zone boundaries contained within the Regulating Plan may result. Final road locations, block arrangements, and zone areas will be in substantial compliance with this Specific Plan, as determined by the Director.

For standards with regards to streets and circulation, see the Street and Circulation Standards in Chapter 4.

*Note: Neighborhood Single Family, Neighborhood Alley, and Neighborhood Duet lots shall be regulated and governed under Neighborhood General Regulatory Standards, and as shown on the approved Tentative Map.



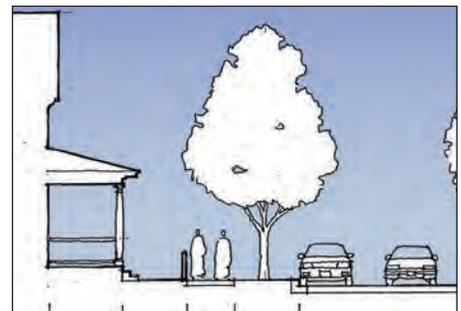
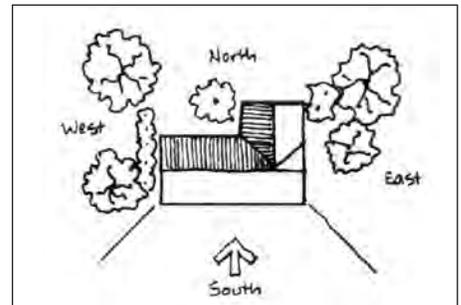
*Amended by Resolution 2019-12, April 23, 2019

Application Content and Processing Requirements

The development standards that appear in this chapter are presented as a regulatory framework unless specifically described as guidelines. Because this Form-Based Code provides requirements for development and land uses appropriate and specific to the Loma Rica Ranch project area, this Code will be the primary body of standards considered by the City in review and approval of development within the area it covers.

The standards of the Grass Valley Development Code that address regulatory topics not covered by this Form-Based Code remain applicable to development within Loma Rica Ranch. If a conflict occurs between a requirement of this Form-Based Code and the Grass Valley Development Code or other City regulations, the requirements of this Code shall control. If a conflict occurs between requirements of this Form-Based Code, the most restrictive requirement shall control.

Refer to Chapter 7 (Phasing and Implementation) for additional information regarding administration and interpretation of this Code.



Loma Rica Ranch Zone Descriptions

Loma Rica Ranch Neighborhood Center (LR-NC)

Neighborhood Center is a mixed-use zone that includes residential and neighborhood-serving commercial uses and are surrounded by residential neighborhoods. They are accessible by transit and will often include one or more well-designed transit stops. The zones are easily accessible to residential areas to attract both pedestrians and drive-by traffic. Approximately 10.3 acres at Loma Rica Ranch are zoned LR-NC.

Neighborhood Centers encourage socially vibrant neighborhoods by sustaining the daily retail, community and social needs of residents within walking distance of where they live. They are intended to be primarily supported by residents, with additional income from regional visitors.



Loma Rica Ranch Neighborhood General (LR-NG)

The Neighborhood General zones consist of the core residences within each neighborhood. A variety of housing types should be integrated within the Neighborhood General zone to enable a wide diversity of residents in a manner that yields medium densities. All of the residences shall have easy access to a variety of different parks and open spaces. Civic and institutional uses such as meeting halls, schools, etc. are allowed within this zone, but shall be carefully designed in a manner that is compatible with the architectural and urban qualities of the surrounding neighborhoods. Residential densities will typically range from 6 to 20 dwelling units to the net acre. Approximately 78.2 acres at Loma Rica Ranch are zoned LR-NG.

The intent is to encourage socially vibrant neighborhoods by providing a wide range of housing opportunities, by integrating planning techniques that provide environments that encourage walking, and by building upon the unique character of existing historic Sierra neighborhoods.



Loma Rica Ranch Neighborhood Edge (LR-NE)

The Neighborhood Edge zones supply an appropriate transition from the neighborhoods to the conserved Open Space. These zones consist primarily of larger-lot single-family residences that integrate larger yards and unbuilt spaces. These zones grant the option of larger homes within the context of the neighborhood structure that are typically at the far end of the five-minute walk (but typically within a 10 minute walk) from the center. Residential densities will typically range from 1 to 8 dwelling units to the acre. Approximately 19.1 acres at Loma Rica Ranch are zoned LR-NE.

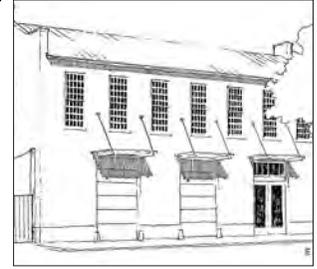
The intent is to provide a choice of large-lot single-family residences within the structure of a socially vibrant neighborhood by presenting a wide range of housing opportunities to members of the community, integrating planning techniques that provide pedestrian-oriented environments that encourage walking, and building upon the unique character of existing historic Sierra neighborhoods.



Loma Rica Ranch Special District (LR-SD)

The Special District zones in Loma Rica Ranch occur at the eastern edge of Sutton Way and within the Trailhead Neighborhood. They are intended to accommodate the same uses that can be found in a Neighborhood Center, but also allow for larger footprint retail and commercial spaces, as well as small and medium size industrial and light industrial uses. These areas have the flexibility to provide more extensive services than Neighborhood Centers and have the ability to adapt to a more pedestrian-oriented area over a long period of time and a few economic cycles. These areas primarily include retail, small- and medium-scale industrial services (such as a dry cleaner) and live-work or “flex” units that can become incubators for small local businesses and artisans. Approximately 26.6 acres at Loma Rica Ranch are zoned LR-SD.

Special Districts provide space for small, local services, industrial and manufacturing businesses, and local artists and crafts people, in close proximity to Neighborhood Center and Neighborhood General uses.



Open Space and Parks (LR-OS)

These categories include lands at Loma Rica Ranch that will remain undeveloped, largely unimproved, and used for the preservation of natural resources and habitats, accessible only by pedestrian and bicycle paths and trails, as well as lands improved for public, recreational and agricultural uses. Approximately 313.9 acres will remain as parks and open space.

The Loma Rica Ranch Organic Farm intends to combine agricultural uses, with a variety of commercial, recreational and educational uses.

Table 4.1: Loma Rica Ranch Specific Plan Composite Use Table

Land Use Type	LR-NC	LR-NG	LR-NE	LR-SD	LR-OS ¹
Agriculture & Resources					
Agricultural accessory structure	P	P	-	-	MUP
Animal Keeping/Grazing	MUP	UP ²	-	-	MUP
Crop production, horticulture, orchard vineyard	p ²	p ²	-	-	p ²
Farmers Market	P	-	-	P	P
Industry, Manufacturing, & Processing					
Furniture and fixtures manufacturing, cabinet shop	-	-	-	P	-
Laundry, dry cleaning plant, < 10,000 sf	-	-	-	P	-
Manufacturing/processing, light > 5,000 sf	MUP ²	-	-	P	-
Media production	-	-	-	P	-
Metal products fabrication, machine, or welding shop	-	-	-	P	-
Printing and publishing	-	-	-	P	-
Recycling - small collection facility	-	-	-	P	-
Storage, outdoor	-	-	-	p ⁵	-
Storage, personal storage facility	-	-	-	P	-
Wholesaling and distribution	-	-	-	P	-
Recreation, Education & Public Assembly					
Amphitheater: Outdoor	UP	MUP ²	-	-	MUP
Cemetery	-	UP	-	UP	UP
Commercial recreation facility: Indoor	MUP	-	-	MUP	-
Equestrian Facility	UP ²	UP ²	-	-	UP
Health/fitness facility	P	-	-	P	-
Library, museum	P	P	P	P	-
Meeting facility, places of worship public or private	MUP	MUP	UP	MUP	-
Park, playground	P	P	P	P	P
School, public or private	UP	UP	-	UP	-
Studio: Art, dance, martial arts, music, etc. < 5000 sf	P	-	-	P	-
Theater (cinema or performing arts)	MUP	-	-	MUP	-
Residential					
Dwelling: Caretakers/Employees	P	P	-	P	-
Dwelling: Multi-family - Duet, triplex, fourplex	P	P	-	-	-
Dwelling: Multi-family - Duet ⁴	P	P	P	-	-
Dwelling: Multi-family - Rowhouse	P	P	-	-	-
Dwelling: Single family	-	P	P	-	-
Home Occupation	P	P	P	P	-
Home occupation, > 500 sf with more than 1 employee	P	UP	UP	-	-
Live Work	P	UP	-	P	-
Mixed use project, residential component	P	-	-	P	-
Residential accessory use or structure	P	P	P	P	-
Residential Care, 6 or fewer clients	-	P	P	-	-
Residential Care, 7 or more clients	UP	-	-	UP	-
Second unit or carriage house	-	P	P	-	-

General Note: Uses not listed are specifically prohibited unless the Director determines that a use is consistent pursuant to Section 17.20.030.A of the Grass Valley Development Code.

Land Use Type	LR-NC	LR-NG	LR-NE	LR-SD	LR-OS ¹
Retail					
Auto & vehicle sales and rental	-	-	-	UP	-
Bar, tavern, night club	MUP	-	-	UP	-
Gas station	-	-	-	UP	-
General retail, except with any of the following features:	P	-	-	-	-
Alcoholic Beverage Sales	MUP	-	-	-	-
Floor area over 5,000 sf	UP	-	-	-	-
Floor area over 25,000 sf	-	-	-	-	-
On-site production of items sold, < 5,000 sf	MUP	-	-	-	-
On-site production of items sold, < 10,000 sf	-	-	-	-	-
Operating between 9pm and 7am	UP	-	-	-	-
Neighborhood market	MUP	MUP ³	-	-	-
Restaurant, cafe, coffee shop, retail	P	MUP ³	-	-	UP
Retail uses serving business park	-	-	-	P	-
Services: Business, Financial, Professional					
ATM	P	-	-	P	-
Bank, financial services	P	-	-	P	-
Business support services	P	-	-	P	-
Conference/Convention Facility	UP	UP	-	P	-
Medical services: Clinic, urgent care	MUP	-	-	MUP	-
Medical services: Doctor office	P	- ³	-	P	-
Medical services: Extended care	UP	-	-	UP	-
Office: Business, service	P	P	-	P	-
Office: Professional, administrative	P	-	-	P	-
Services: General					
Day care center: Child or adult	MUP	MUP	MUP	MUP	-
Day care center: Large family	P	MUP	MUP	P	-
Day care center: Small family	P	P	P	P	-
Lodging: Bed & breakfast inn (B&B)	P	MUP	MUP	-	-
Lodging: Hotel	P	UP	-	P	-
Public safety facility	UP	UP ²	UP	UP	-
Personal services < 2,500 sf	P	P	-	P	-
Personal services > 2,500 sf	MUP	-	-	P	-
Veterinarian/Animal Support Services	MUP	UP	-	UP	UP
Transportation, Communications, Infrastructure					
Parking facility, public or commercial	UP	-	-	UP	-
Wireless telecommunications/energy facility	UP	-	-	UP	UP
Key					
P	Permitted Use				
MUP	Minor Use Permit Required				
UP	Use Permit Required				
End Notes					

¹ See Chapter 5 for a description of Open Space.

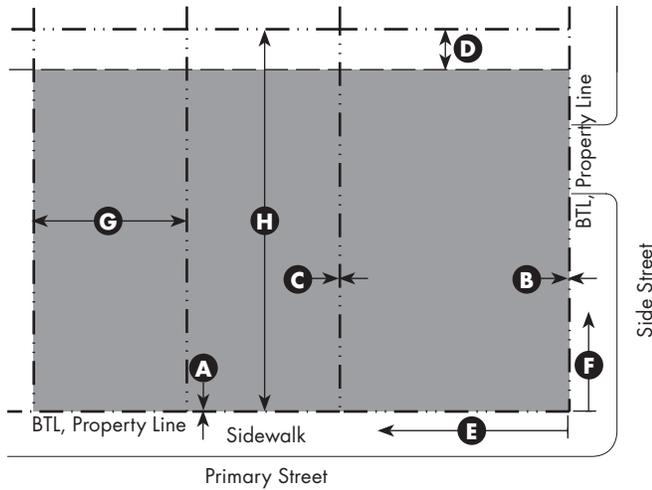
² Allowed only within the Farm Overlay Boundary.

³ 2,500 sf or less at designated nodes within a neighborhood.

⁴ The Dwelling: Multi-Family - Duet appears on two lines because only the Multi-Family - Duet is permitted in the LR-NE and not the entire set of Multi-Family dwelling types.

⁵ If screened from public roads.

Loma Rica Ranch Neighborhood Center (LR-NC) Standards



Key

- Property Line
- Setback Line
- - - Build-to Line (BTL)
- Building Area

Building Placement

Build-to Line (Distance from Property Line)

Front	0' min., 10' max.	A
Side Street, Corner Lot	0' min., 10' max.	B

Setback

Side	0' - 5'	C
Rear		
Adjacent to residential	10'	D
Adjacent to any other use	0'	D

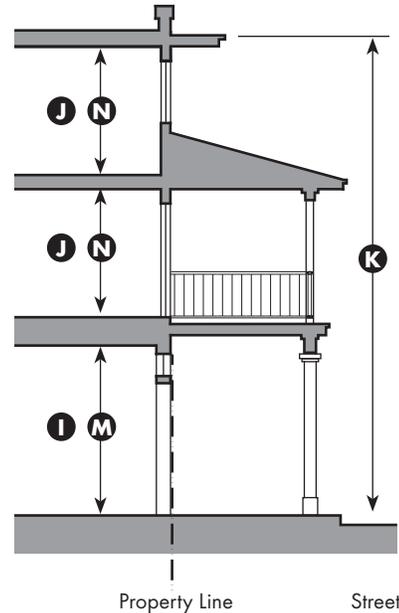
Building Form

Primary Street built to BTL	60% min.*	E
Side Street, Corner Lot built to BTL	30% min.*	F
Lot Width	250' max.	G
Lot Depth	200' max.	H

* Street facades must be built to BTL within 30' of every corner.

Notes

- All floors must have a primary ground-floor entrance which faces the street.
- Rear facing buildings, loading docks, overhead doors, and other service entries are prohibited on street facades.
- Buildings must be placed to meet City standard sight distance requirements for adjacent driveways and intersections.



Use

Ground Floor	Service, Retail, Residential, or Recreation, Education & Public Assembly*	I
Upper Floor(s)	Residential or Service*	J

*See Table 4.1 for specific uses.

Height

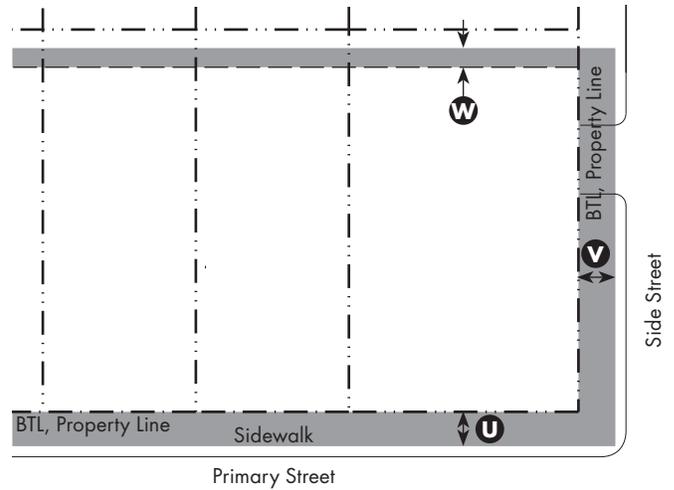
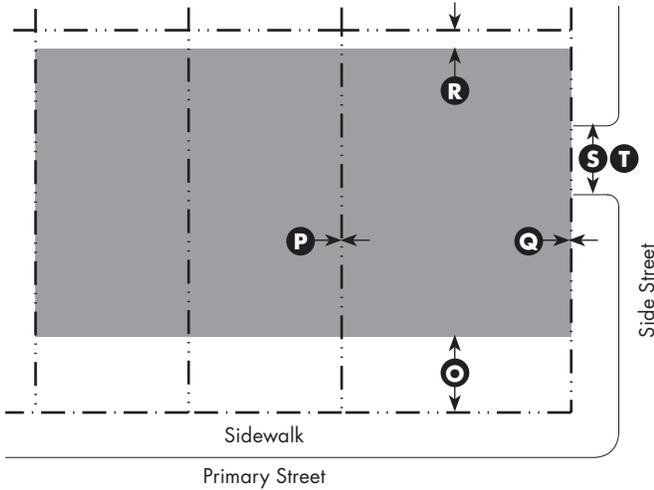
Building Minimum	16'	K
Building Maximum	3 stories*, 45'**	K
Ancillary Building Max.	2 1/2 stories, 30'***	
First Floor Ceiling Height	12' min. clear	M
Upper Floor(s) Ceiling Height	8' min. clear	N

*4 stories for approved affordable and/or senior housing.

** All heights measured to eaves or base of parapet.

Notes

- Mansard roof forms are not allowed.
- Buildings greater than 16 units must provide adequate common space for residents in the form of community rooms, roof terraces, or courtyards.
- Any section along the BTL not defined by a building is encouraged to be defined by a 2'6 to 3'6 high fence or stucco or masonry wall.



Key

- Property Line
- Parking Area

Parking

Location (Distance from Property Line)		
Front Setback	20'	ⓐ
Side Setback	0'	ⓑ
Side Street Setback	5'	ⓒ
Rear Setback	5'	ⓓ

Required Spaces

Ground Floor		
Residential uses	2 space/unit; 1 space/studio	
Other uses	1 space/500 sf*	
Upper Floor(s)		
Residential uses	2 space/unit; 1 space/studio	
Other uses	per chapter 17.36.040	

Notes

*No off-street parking is required for non-residential, ground floor uses of less than 3,000 sf located in stand alone buildings.

Parking Drive Width 15' max.** ⓔ

** Or as required by Fire Department or City Engineer.

On corner lots, parking drive shall not be located on primary street. Shared drives are encouraged between adjacent lots to minimize curb cuts along the street. ⓕ

Bicycle parking must be provided and in a secure environment.

See Chapter 17.36 of the Development Code and the City Improvement Standards for further parking specifications.

Key

- Property Line
- Setback Line
- Build-to Line (BTL)
- Encroachment Area

Encroachments

Location		
Front	9' max.	ⓖ
Side Street	8' max.	ⓗ
Rear	4' max.	ⓘ

Notes

Canopies, Awnings, Galleries and Balconies may encroach over the BTL on the street sides and into the setback on the rear, as shown in the shaded areas. Only Balconies are allowed at the rear encroachment.

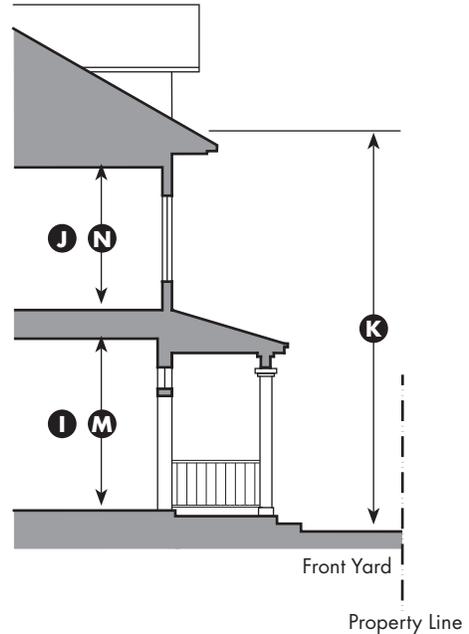
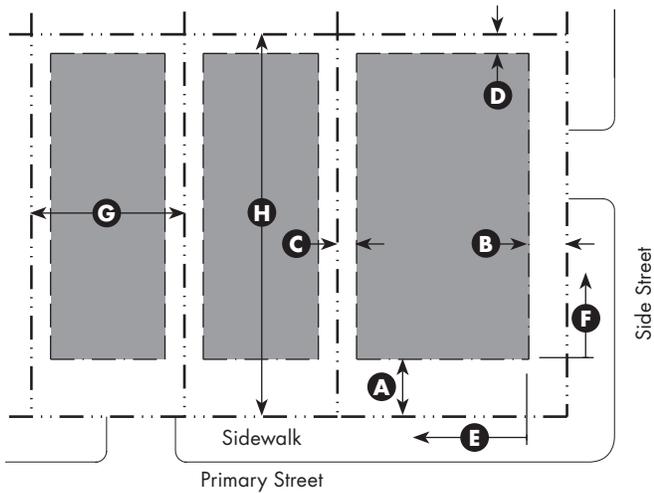
Encroachment over sidewalks shall not impede or inhibit the movement of pedestrians.

Frontage Types

Canopies		
Clearance	1' min. back from curb line	
Height	9' min. clear, 2 stories max.	
Awnings		
Depth	10' max.	
Forecourts		
Depth	20' min., not to exceed width	
Width	20' min., 50% of lot width max.	

See Page 4-22 for additional information on frontage types.

Loma Rica Ranch Neighborhood General (LR-NG) Standards



Key

- Property Line
- Setback Line
- Build-to Line (BTL)
- Building Area

Building Placement

Build-to Line (Distance from Property Line)

Front	10' min., 25' max.*	A
Side Street, corner lot	10' min., 15' max.	B

* 10' on downslope lots.

Setback

Side	5'	C
Rear	5'	D

Building Form

Primary Street built to BTL	60% min.	E
Side Street, Corner Lot built to BTL	30% min.	F
Lot Width	20' to 160'	G
Lot Depth	50' to 200'	H
Minimum Lot Size	1000 sf	

Notes

Upper-floor residential units must have a visible, ground-floor entrance that faces the street.

Use

Ground Floor	Residential, Service, Retail, or Recreation, Education & Public Assembly*	I
Upper Floor(s)	Residential*	J

*See Table 4.1 for specific uses.

Height

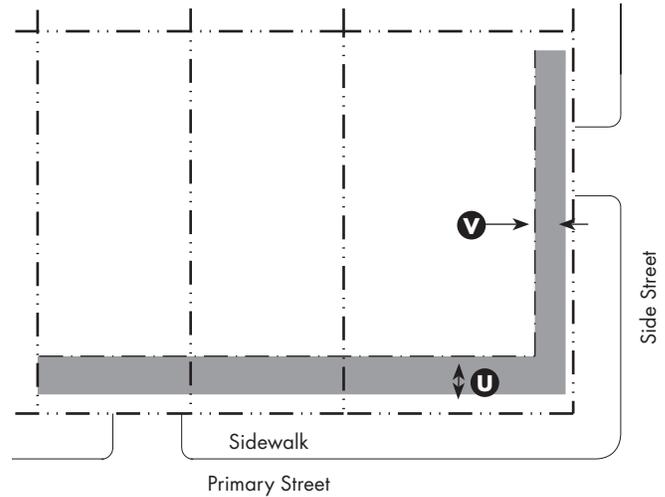
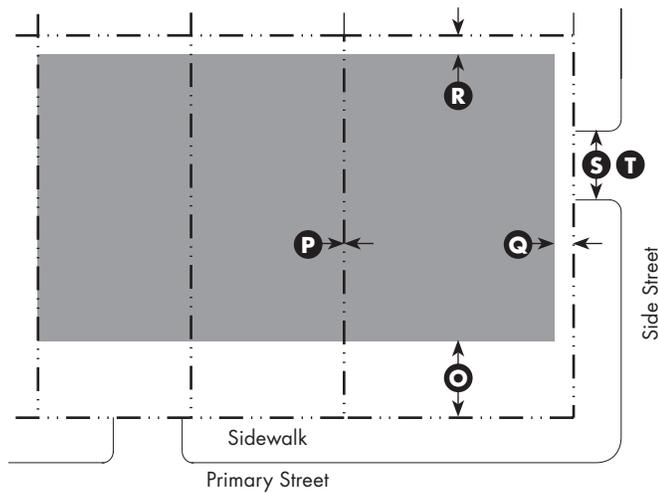
Building Maximum	2-1/2 stories, 30' **	K
Ancillary Building Max.	2 stories, 25' **	
First Floor Ceiling Height	9' min. clear	M
Upper Floor Ceiling Height	8' min. clear, 6'8" at knee wall	N

** All heights measured to eaves or base of parapet

Notes

Mansard roof forms are not allowed.
Street-facing property lines encouraged to be defined by a 2'6" to 3'6" high fence or stucco or masonry wall. See page 4-71 for additional requirements.

Buildings and any encroachments must maintain a minimum setback of 5' from the front and side property line.



Key

- Property Line
- █ Parking Area

Parking

Location (Distance from Property Line)

Front Setback	20'	○
Side Setback	0'	●
Side Street Setback	5'	○
Rear Setback	5'	○

Required Spaces

Residential Uses	2 space/unit; 1 space/studio
Nonresidential Uses	per chapter 17.36.040

Notes

- Parking Drive Width 12' max.* ○
- * Or as required by Fire Department or the City Engineer
- On corner lots, parking drive shall not be located on primary street. ●
- Shared drives are encouraged between adjacent lots to minimize curb cuts along the street.
- Parking may be provided off-site within 1,300' or as shared parking.
- Bicycle parking must be provided and in a secure environment.
- See Chapter 17.36 of the Development Code and the City Improvement Standards for further parking specifications.

¹All garages with direct access to a primary street shall be setback a minimum of 5' from the front facade of the house (not including and any of the allowed encroachments)

Key

- Property Line
- Setback Line
- Build-to Line (BTL)
- █ Encroachment Area

Encroachments

Location

Front	10' max.*	○
Side Street	8' max.*	○
Rear	0'	

Notes

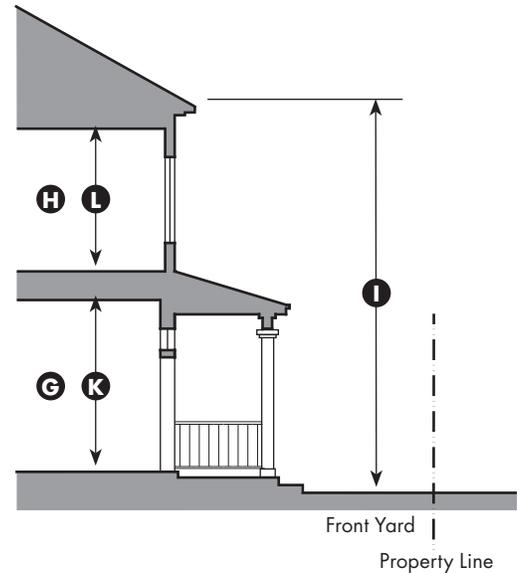
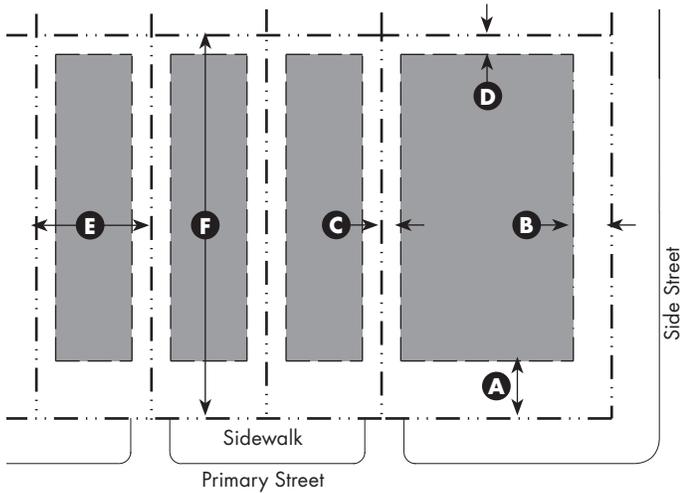
- Porches, Balconies, and Bay Windows may encroach over the BTL on the street sides, as shown in the shaded areas.
- *Buildings and any encroachments must maintain a minimum setback of 5' from the front and side property line.

Frontage Types

Stoops	
Depth	4' min., 6' max.
Forecourts	
Depth	20' min., not to exceed width
Width	20' min., 50% of lot width max.
Porches	
Depth	8' min.
Height	2 stories max.

See Page 4.-22 for additional information on frontage types.

Loma Rica Ranch Neighborhood Edge (LR-NE) Standards



Key

- Property Line
- Setback Line
- Building Area

Building Placement

Setback		
Front	15' min., 30' max.*	A
Side Street, Corner Lot	10' min., 25' max.	B
Side	5'	C
Rear	5'	D

* 10' on downslope lots.

Building Form

Lot Width	200' max.	E
Lot Depth	250' max.	F
Minimum Lot Size	3000 sf	

Use

Ground Floor	Residential	G
Upper Floor(s)	Residential	H

*See Table 4.1

Height

Building Maximum	2.5 stories, 30' max. **	I
Ancillary Building Max.	2 stories, 25' max.**	
First Floor Ceiling Height	9' min. clear	K
Upper Floor Ceiling Height	8' min. clear, 6' 8" at knee wall	L

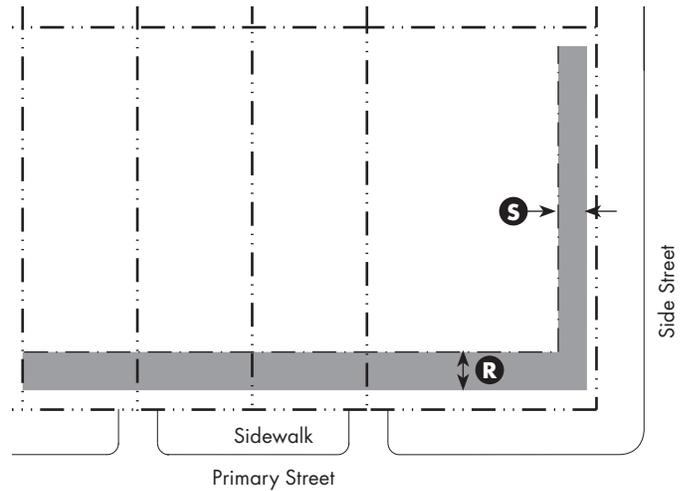
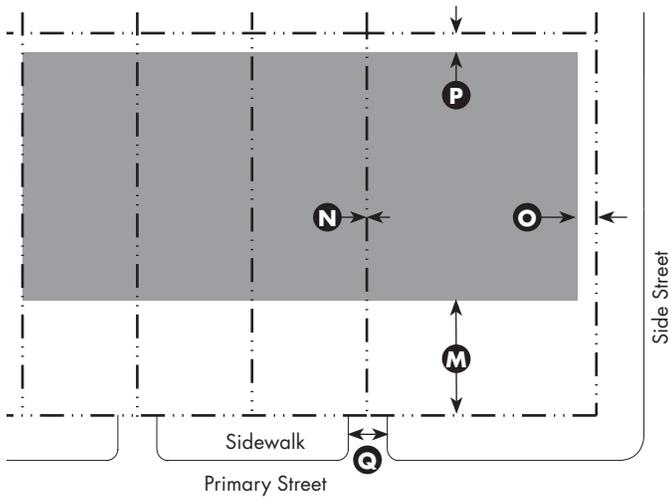
** All heights measured to eaves or base of parapet.

Notes

Mansard roof forms are not allowed.

Street-facing property lines encouraged to be defined by a 2'6" to 3'6" high fence or stucco or masonry wall. See page 4-71 for additional requirements.

Buildings and any encroachments must maintain a minimum setback of 5' from the front and side property line.



Key

- Property Line
- █ Parking Area

Parking

Location (Distance from Property Line)		
Front Setback	20' ¹	M
Side Setback	0'	N
Side Street Setback	5'	O
Rear Setback	5'	P

Required Spaces

Residential Uses	2 space/unit; 1 space/studio
------------------	------------------------------

Notes

Parking Drive Width	12' max. *	Q
---------------------	------------	----------

* Or as required by Fire Department or the City Engineer.
 Shared drives are encouraged between adjacent lots to minimize curb cuts along the street.

See Chapter 17.36 of the Development Code and the City Improvement Standards for further parking specifications.

¹All garages with direct access to a primary street shall be setback a minimum of 5' from the front facade of the house (not including any of the allowed encroachments.)

Key

- Property Line
- Setback Line
- Build-to Line (BTL)
- █ Encroachment Area

Encroachments

Location			
Front	10' max.		R
Side Street	8' max.		S
Rear	0'		

Notes

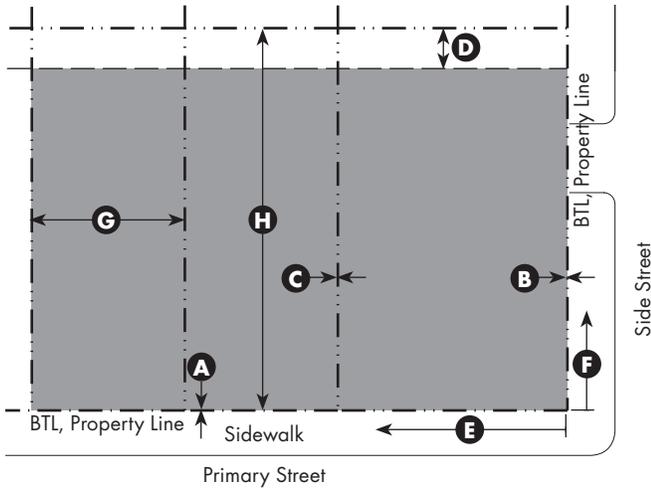
Porches, Balconies, and Bay Windows may encroach over the setback line on the street sides, as shown in the shaded areas. Buildings and any encroachments must maintain a minimum setback of 5' from the front and side property line.

Frontage Types

Common Lawns		
Porches		
Depth		8' min.
Height		2 stories max.

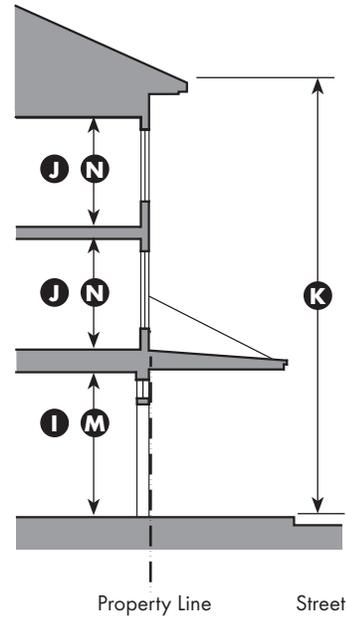
See Page 4-22 for additional information on frontage types.

Loma Rica Ranch Special District (LR-SD) Standards



Key

- Property Line
- Setback Line
- Build-to Line (BTL)
- Building Area



Building Placement

Build-to Line (Distance from Property Line)

Front	0'	A
Side Street, Corner Lot	0'	B

Setback

Side	0'	C
Rear		
Adjacent to residential	10'	D
Adjacent to any other use	0'	D

Building Form

Primary Street built to BTL	100% min.*	E
Side Street, Corner Lot built to BTL	70% min.*	F
Lot Width	300' max.	G
Lot Depth	275' max.	H

* Street facades must be built to BTL within 30' of every corner.

Notes

All floors must have a primary ground-floor entrance which faces the street.

Rear facing buildings, loading docks, overhead doors, and other service entries are prohibited on street facades.

Use

Ground Floor	Industry, Manufacturing, Processing, Retail, Service or Recreation, Education & Public Assembly*	I
Upper Floor(s)	Any*	J

*See Table 4.1 for specific uses.

Height

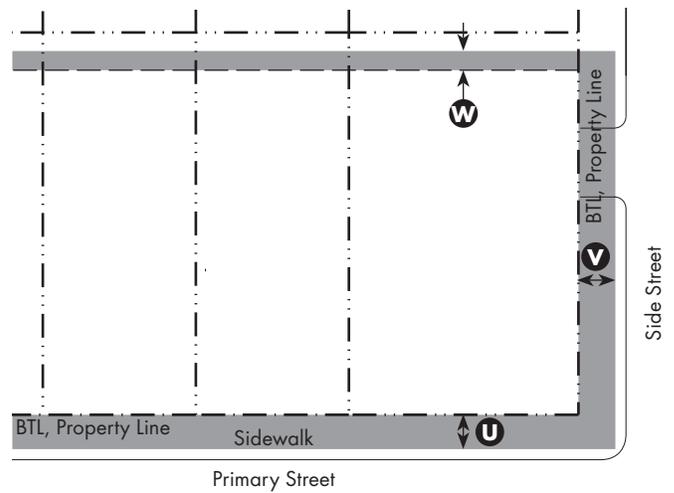
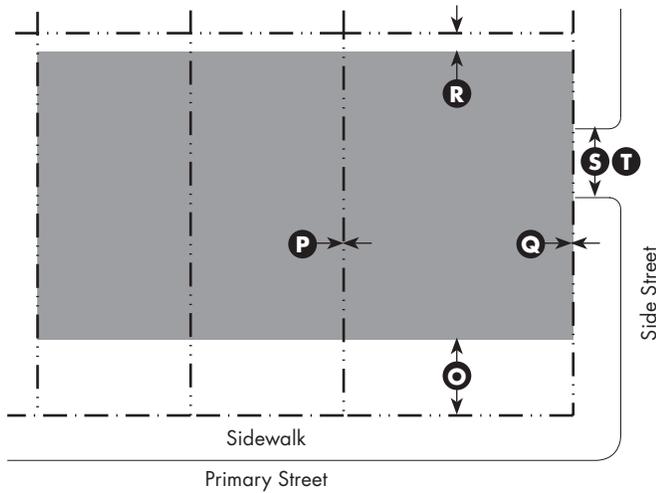
Building Minimum	20'	K
Building Maximum	3 stories*, 45'**	K
Ancillary Building Max.	3 stories, 45'**	
First Floor Ceiling Height	12' min. clear	M
Upper Floor(s) Ceiling Height	8' min. clear	N

** All heights measured to eaves or base of parapet.

Notes

Mansard roof forms are not allowed.

Street-facing property lines encouraged to be defined by a 2'6" to 3'6" high fence or stucco or masonry wall. See page 4-71 for additional requirements.



Key

- Property Line
- Parking Area

Parking

Location (Distance from Property Line)		
Front Setback	20'	○
Side Setback	0'	●
Side Street Setback	5'	⊙
Rear Setback	5'	⊗

Required Spaces

Ground Floor	
Uses < 3,000 sf	No off-street parking required
Uses > 3,000 sf	1 space/500 sf
Upper Floor(s)	
Residential uses	2 space/unit; 1 space/studio
Other uses	per chapter 17.36.040

Notes

- Parking Drive Width 20' max.* **Ⓢ**
- *Or as required by Fire Department or city code.
- On corner lots, parking drive shall not be located on primary street. **Ⓣ**
- Shared drives are encouraged between adjacent lots to minimize curb cuts along the street.
- Parking may be provided off-site within 1,300' or as shared parking.
- Bicycle parking must be provided and in a secure environment.
- See Chapter 17.36 of the Development Code and the City Improvement standards for further parking specifications.

Loma Rica Ranch Specific Plan

Key

- Property Line
- Setback Line
- Build-to Line (BTL)
- Encroachment Area

Encroachments

Location		
Front	9' max.	Ⓤ
Side Street	8' max.	Ⓥ
Rear	4' max.	Ⓦ

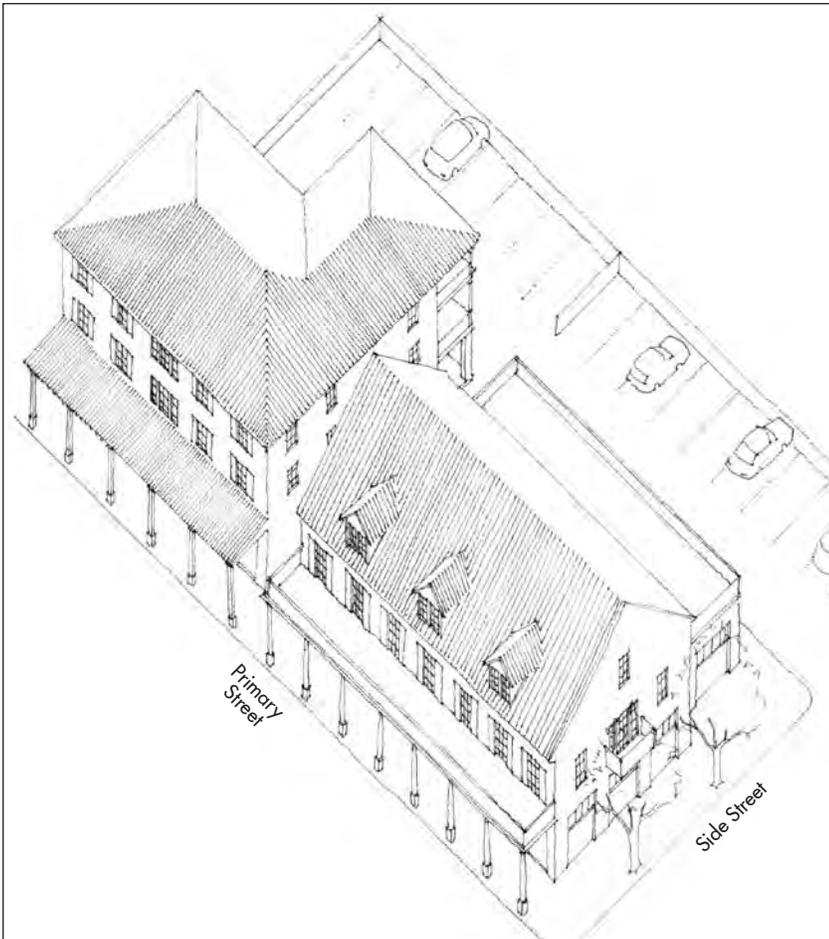
Notes

- Canopies, awnings, and balconies may encroach over the BTL on the street sides and into the setback on the rear, as shown in the shaded areas. Only balconies are allowed at the rear encroachment.
- Encroachment over sidewalks shall not impede or inhibit the movement for pedestrians.

Frontage Types

Canopies	
Clearance	1' min. back from curb line
Height	9' min. clear, 2 stories max.
Awnings	
Depth	10' max.
Forecourts	
Depth	20' min., not to exceed width
Width	20' min., 50% of lot width max.

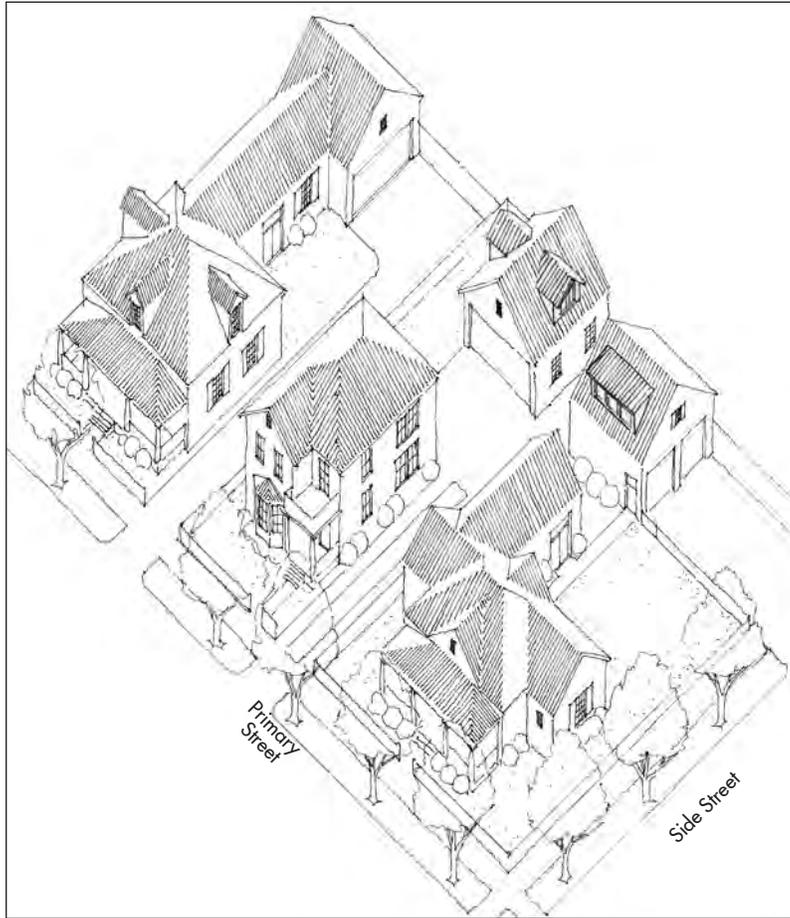
Pg. 4-22 for additional information on frontage types.



Examples of buildings in a Neighborhood Center area.



Examples of buildings in a Neighborhood General area.



Examples of buildings in a Neighborhood Edge area.



Examples of buildings in a Special District area.

Additional Standards for all Zones

Parking	
Required Space Sizes	
Off-Street Space	9'x18' min.
Off-Street Compact Space	8'x16' min.*
Standard Vehicle Space Requirements	
See Table 4.2	
General Notes	
Parking, including parking garages, shall be accessed from an alley or secondary frontage when available and feasible.	
Wider parking drives may be required to accommodate emergency access or safety requirements dependent on sight distance or traffic volumes.	
Off-street spaces do not have to be covered.	
Tandem parking is allowed for off-street parking as long as both spaces are behind the front façade plane.	
Shared drives are allowed between adjacent lots to minimize curb cuts along the street.	
All parking lots should be screened by a 3'6" min. height hedge, wall or fence.	
If required minimum space total is not a whole number it must be rounded up to the nearest whole number. At the Director's discretion, shared parking may be counted toward minimum parking requirement.	

Open Space Standards
 No additional private or public open space requirements shall apply to the Form-Based Code Zones. Farming is permitted in open space within the Farm Overlay.

Lighting Standards
 Outdoor light fixtures in parking areas shall be limited to a maximum height of 15 feet.

Where feasible, lighting shall be shielded or recessed so that the light source is not visible from off the site, and glare and reflections are confined to the maximum extent feasible within the boundaries of the site. Light fixtures shall be directed downward and away from adjoining properties and public rights-of-way.

No lighting on private property shall produce an illumination level greater than one footcandle on any property within a residential zoning district except on the site of the light source.

Landscaping Standards
 Parking areas shall be landscaped in compliance with the following requirements: Each use shall provide landscaping within and/or around the parking area at a minimum ratio of 10% of the gross area of the parking lot. A minimum of one shade tree shall be provided for each five parking spaces or trees provided to achieve 50% canopy coverage of paved area at maturity.

Orchard-style planting is encouraged for larger parking areas. Automatic irrigation shall be provided for landscaped areas.

Table 4.2: Standard Off-Street Vehicle Space Requirements

Angle	Space Width	Space Depth*	Space Length	One-way Aisle Width	Two-way Aisle Width
Parallel	9'	7'-8'	20'	12'	24'
30° *	9'	18'	20'	12'	N/A
45° *	9'	20'6"	20'	14'	N/A
60° *	9'	22'	20'	18'	N/A
Perpendicular	9'	18'	18'	24'	24'

*Measured perpendicular to aisle

Additional Standards for all Zones

Height Standards

Height limits do not apply to masts, belfries, clock towers, chimney flues, water tanks, elevator bulkheads, and similar structures, which may be of any height approved by the Director.

Home Occupation Standards

Home occupation shall be limited to professions determined by the Director and pursuant to permitted uses as defined in the zones: Neighborhood Center, General, Edge, and Special District (see table 4.1).

The home occupation use shall not disrupt the generally residential character of the neighborhood. The Director shall review the nature of a proposed home occupation use at the time of review of a business license for such use, and may approve, with conditions, continue, or deny the application.

Prohibited Uses Standards

The following are examples of uses not permitted anywhere within the Plan area: animal hatcheries; boarding houses; any commercial use in where patrons remain in their automobiles while receiving goods or services, except service stations; kennels; outdoor billboards; prisons or detention centers, except as accessory to a police station; drug and alcohol treatment and rehab centers; thrift stores; sand, gravel, or other mineral extraction; scrap yards; tire vulcanizing and retreading; vending machines, except within a commercial building; uses providing goods or services of a predominantly adult-only or sexual nature, such as adult book or video stores or sex shops; and other similar uses as determined by the Director.

Residential Accessory Use or Structure

Any use and/or structure that is customarily a part of, and clearly incidental and secondary to a residence, and does not change the character of the residential use is permitted. This definition includes the following detached accessory structures normally associated with a residential use property.

Garages, gazebos, greenhouses (noncommercial), spas and hot tubs, storage sheds, studios, swimming pools, tennis and other on-site sport courts, workshops.

Also includes the indoor storage of automobiles (including incidental restoration and repair), personal recreational vehicles and other personal property, accessory to a residential use.

Does not include second units, which are separately defined; guest houses, which are included under the definition of second units; or home satellite dish and other receiving antennas for earth-based TV and radio broadcasts.

Green Building Techniques

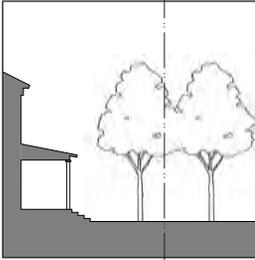
Projects should demonstrate a basic level of green building practices by attaining a “GreenPoint Rated” certification of the Build It Green program or equivalent for new construction.

Alternative Lot Configuration: Using Easement

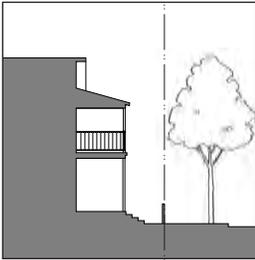
Easements may be provided to neighboring parcels to enable efficient use of yard/open space/driveway/ etc..

Frontage Types

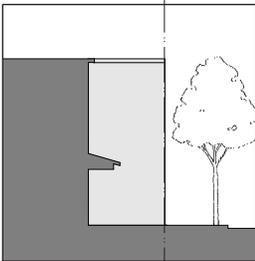
Frontage Line 



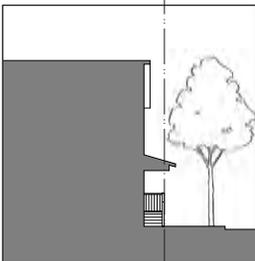
Common Lawn: The main façade of the building has a large setback from the frontage line. The resulting front yard can be defined or undefined at the frontage line. This edge is typically defined by a fence or hedge within a traditional neighborhood or left undefined within more rural areas or subdivisions. Large common lawns are typical for larger homes within historic neighborhoods. A front porch is optional, but if it is used, it can be one or two story.



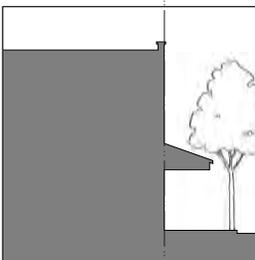
Porch: The main façade of the building has a small setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge. The porch can encroach into the setback to the point that the porch extends to the frontage line. The porch can be one or two stories. A minimum depth of 6' clear is required within the development standards to ensure usability. *On downslope lots the setback is typically minimized to improve the development feasibility of the lot. On upslope lots it is maximized to reduce visual impact of the building on the streetscape.*



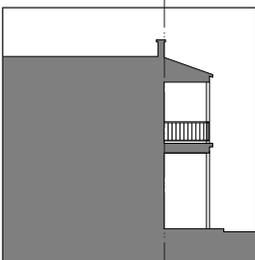
Forecourt: The main façade of the building is at or near the frontage line and a small percentage of it is set back, creating a small court space. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within commercial zones. The proportions and orientation of these spaces should be carefully considered for solar orientation and user comfort. This frontage type should be used sparingly and should not be repeated within a block. A short wall, hedge, or fence should be placed along the undefined edge.



Stoop: The main façade of the building is near the frontage line and the elevated stoop engages the sidewalk. The stoop should be elevated a minimum of 24 inches above the sidewalk to ensure privacy within the building. The stairs from the stoop may lead directly to the sidewalk or may be side loaded. The minimum width and depth of the stoop should be 5 feet. This type is appropriate for residential uses with small setbacks.



Awning : The main façade of the building is at or near the frontage line and the canopy or awning element may overlap the sidewalk. The canopy is a structural, cantilevered, shed roof and the awning is canvas or similar material and is often retractable. The coverings should extend far enough from the building to provide adequate protection for pedestrians. This type is appropriate for retail and commercial uses only because of the lack of a raised ground story.



Gallery: The main façade of the building is at the frontage line and the gallery element overlaps the sidewalk. The entry should be at the same grade as the sidewalk. This type can be one or two stories and is intended for retail uses. The gallery should extend close enough to the curb so that a pedestrian cannot bypass it. Due to the overlap of the right-of-way, an easement is usually required. A minimum depth is required within the development standards to ensure usability. This type is appropriate for ground floor commercial uses.

Building Types

The following standards establish permitted, Building Types within all Zones. Each Building Type shall also meet the Development Code requirements of the Zone in which they are utilized. Building Type standards identify specific regulations for the Type of building and lots to regulate important characteristics (massing, open space and public space interactions) of the built form. Within the building placement requirements of the applicable Zone, Building Type regulations further reinforce the desired small-town character to encourage quality development that suits the character of Loma Rica Ranch.

Although the Building Types listed within this section provide a wide range of possible designs, innovative design solutions that may not meet the strict definition of the Building Types included herein may be allowed. Unique Building Types and mixing of Building Types within Zones, individual sites, and within buildings can positively contribute to diverse and interesting streetscenes if appropriately designed. Furthermore, such Building Types may be more appropriate to address the constraints of the site and demands of the current market. In such cases, where the following Building Types standards cannot be appropriately applied, buildings may be identified by the developer as “Innovative.” Innovative Building Types may be exempted from the Building Type standards of this section, and may be independently reviewed as part of the Development Review permit process. Innovative Building Types must comply with the basic design principles of this specific plan and incorporate the architectural styles reflective of Grass Valley.

Allowable Building Types by Zone

Each neighborhood at Loma Rica will provide a variety of building types to create interesting streetscapes. See Chapter 3 neighborhood descriptions for minimum number of building types in each neighborhood. The Building Types described in this section is subject to the requirements of the applicable Zone and the following Building Type standards. As described in this

section, some Building Types can take the form of attached or detached units. See Tables 4.1 and 4.3 for Building Types by zone.

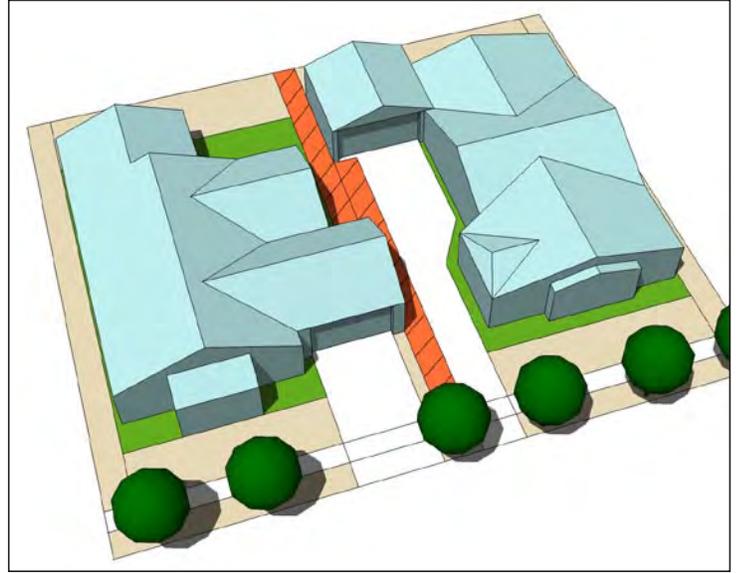
Table 4.3 - Building Type by Zone

Building Types	LR-NC	LR-NG	LR-NE	LR-SD	OS & Parks
Single Family Front Loaded	Yes	Yes	Yes	No	No
Single Family Rear Loaded	Yes	Yes	Yes	No	No
Motorcourt	Yes	Yes	Yes	No	No
Linear Green Court	Yes	Yes	No	No	No
Bungalow Green Court	Yes	Yes	No	No	No
Village House	Yes	Yes	Yes	No	No
Row House	Yes	Yes	No	No	No
Stacked Units	Yes	Yes	No	Yes	No
Live/Work	Yes	Yes	No	Yes	No
Shopkeeper	Yes	Yes	No	Yes	No
Commercial Block	Yes	No	No	Yes	No
Non Residential	Yes	Yes	No	Yes	Yes

Single-Family Dwelling (Front Loaded and Rear Loaded)



Single-Family Dwelling Example



Single Family Dwelling plan diagram - "Z" lot (RUE in orange color)

A Single Family Dwelling is a Building Type consisting of a single-family detached home on an individual lot that is oriented toward the public street. Design of Single Family Building Types should include a variety of garage arrangements that respond to the applicable Frontage Type and Zone Development Code. In addition to Zone and Frontage standards, the following standards shall apply to all Single Family House Building Types:

Plotting

Detached unit.

May be plotted on a large lot or as a series of clustered small lots.

"Z" and RUE lot plotting permitted.

No floor plans may be plotted more than 2 in a row.

No identical adjacent building elevations are permitted.

The same floor plan may be plotted on lots across from each other, provided a different elevation is selected for each unit.

A minimum of 3 color schemes shall be provided.

Access

The primary pedestrian entry shall be oriented toward the public street.

Where an alley is present, parking shall be accessed through the alley.

Where an alley is not present, parking, and services shall be accessed from the public street frontage by a full driveway, minimum 20 feet deep. A 12 foot wide driveway is allowed for access to a garage located on the rear half of the lot.

Permitted Frontage Types

Common Lawn.

Porch.

Massing

Single-Family dwellings are characterized by a one- or two-story main body volume. The main body may be oriented either parallel or perpendicular to the street. Complex house forms are composed of two or more simple volumes.

Side wings that share the same character may be combined with the main body volume.

Single-Family Dwellings are typically 1, 1 ½, or 2 stories in height. 1 ½ story massing with a substantial (6' is common) knee wall on the attic story is quite frequent in Sierra Foothill towns and is encouraged where appropriate.

Houses on corner lots and lots abutting public parks or open space areas shall be designed with a comparable level of architectural expression on the most visible side elevation as the front elevation.

When an alley is present, the design of the alley should address the functional and aesthetic features of the space to create a pleasant experience for residents. This may include but is not limited to planting, decorative paving, upgraded garage doors, and building offsets along alley elevations.

Trash/Recycling and AC Units

Where an alley is present, AC units and trash/recycling storage areas shall be located on the alley and screened from view by fencing or landscaping

Where an alley is not present, AC units and trash/recycling storage areas shall be located at least 3 feet behind the facade of the house and be screened from street view with landscaping or a fence.

Trash/recycling storage is encouraged to be located within the garage.

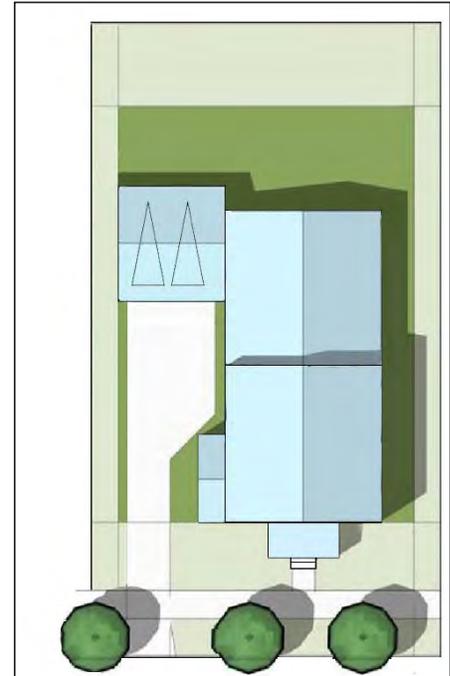
When Trash/recycling storage are located in a garage, additional storage space shall be provided so as not to conflict with required vehicle parking areas.

Private Open Space

May be provided in front yard, side yard, rear yard, or an interior courtyard.

Shall be 10% of the total lot area per unit; may be divided into separate areas as long as minimum dimension is met.

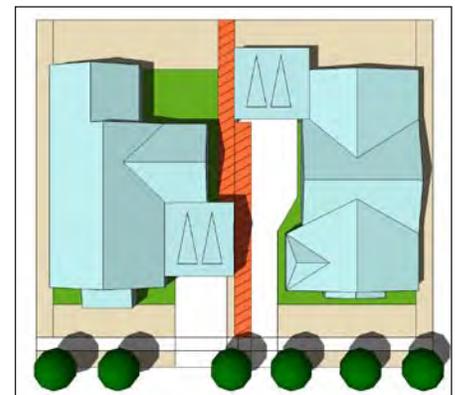
Minimum dimension of 10 feet.



Single Family Dwelling diagram - large lot



Single Family Dwelling diagram - large lot



Single Family Dwelling diagram - "Z" lot (RUE in orange color)

Motor Court



Motorcourt example



Motorcourt Building Type, Perspective view

A Motor Court is a Building Type consisting of homes clustered together and oriented toward a motor court. Garage access is taken from the motor court and pedestrian entries are accessed from the motor court or the public street. The Motor Court Type orients small-lot detached or attached homes with garages in a manner that activates the public street scene by reducing the presence of garage doors along the public street and providing more “active” architecture along the public street frontage. In addition to Zone and Frontage Standards, the following standards shall apply to all Motor Court Building Types:

A. Plotting

May be attached or detached.

Minimum 8-foot building separation.

“Z” lot and RUE plotting permitted.

To the greatest extent feasible, all plotting of Motor Court Building Types shall be done in the Motor Court module; where site planning constraints exist, the Motor Court Module may be modified to fit the site.

Access

Homes along the public street frontage shall orient primary pedestrian entries to address the street; all other units shall take front door access from the motor court.

Garage access shall be taken from the motor court; up to one garage may take access directly from the public street.

Appropriate Frontage Types

Common Lawn.

Porch.

Stoop.

Building Size and Massing

Adjacent to the public street, buildings shall be composed of one- and two-story volumes or articulated with single-story elements such as porches, balconies, or wings.

Front elevations, facing motor courts or streets, are encouraged to be designed to have building massing offsets that vary the setback along the motor court or street as applicable to the plotting of the buildings.

Side elevations abutting the public street or motor court shall be designed with a comparable level of architectural expression as the front elevation.

Design of the motor court should address the functional and aesthetic features of the space to create a pleasant experience for residents. This may include but is not limited to planting, decorative paving, upgraded garage doors, and building offsets along motor court elevations.

Trash/Recycling and AC Units

AC Units and trash/recycling storage areas should be located on the motor court and screened from view of the motor court and the public street with landscaping or a fence.

Trash/recycling storage is encouraged to be located within the garage.

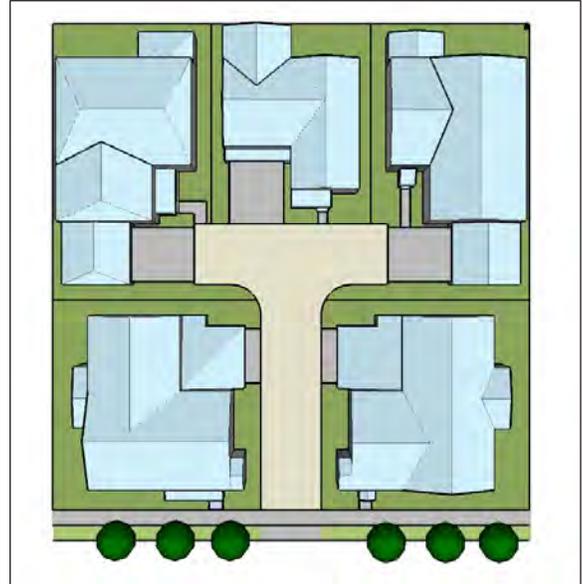
When trash/recycling storage are located in a garage, additional storage space shall be provided so as not to conflict with required vehicle parking areas.

Private Open Space

May provided in the form of a porch, courtyard, balcony, yard space, or interior court.

Minimum area of 60 square feet per unit.

Minimum dimension of 6 feet.



Motorcourt Building Type, Plan View

Linear Green Court



Linear Court Example. Linear court plotting with massing offsets to vary the setback along the linear court.



Linear Court Building Type, Perspective View

A Linear Court is a Building Type consisting of a row of homes typically oriented toward a common linear green court. End units adjacent to the public street are designed to address the public street frontage. The Linear Court orients homes in a manner that activates the street scene and creates common paseos along front property lines. This Building Type separates garage and pedestrian access to opposite sides of the building by providing front pedestrian entries along the paseo and garage access from a common rear alley. This Building Type may also include linear groupings of homes oriented to the public street. In addition to Zone and Frontage standards, the following standards shall apply to all Linear Court Building Types:

Plotting

May be attached or detached.

“Z” lot and RUE plotting are permitted

Access

The primary pedestrian entrance should be accessed and oriented to be visible from the public street frontage or a linear court.

Parking and services shall be accessed through the alley where possible.

“Half” street plotting with garage access taken from the street is permitted where site planning constraints exist. Garage frontage along the street shall be limited to a maximum of four units in a row. Full driveways, with a minimum depth of 20 feet, shall be provided for all garages fronting the public street.

Appropriate Frontage Types

Common Lawn.

Porch.

Stoop.

Building Size and Massing

Adjacent to the public street, buildings shall be composed of one- and two-story volumes or articulated with single-story elements such as porches, balconies, or wings.

Front elevations, facing linear courts or streets, are encouraged to be designed to have building massing offsets that vary the setback along the linear court or street as applicable to the plotting of the buildings.

Side elevations abutting the public street or linear green shall be designed with a comparable level of architectural expression as the front elevation.

Design of alleys should address the functional and aesthetic features of the space to create a pleasant experience for residents. This may include but is not limited to planting, decorative paving, upgraded garage doors, and building offsets along alley elevations.

Trash/Recycling and AC Units

AC Units and trash/recycling storage areas should be located on the alley and screened from view with landscaping, wall, or a fence.

Trash/recycling storage areas are encouraged to be located within the garage.

When trash/recycling storage are a garage, additional storage space shall be provided so as not to conflict with required vehicle parking areas.

Private Open Space

May be provided in the form of a porch, courtyard, yard space, or an interior court.

Minimum area of 60 square feet.

Minimum dimension of 6 feet.

Linear Court/Paseo Feature

A linear court or paseo feature is a semi-public or private open green space in which the frontage of residential units are oriented to, and have direct access to, this feature from their porch. These features include decorative landscaping, lighting, a common or centralized walkway (with connections to each individual unit front entry), and low level fencing. Optional features include a paved courtyard with potted plants, fountains and or specimen trees as central focal elements, outdoor seating, and a themed courtyard to reflect architectural character.

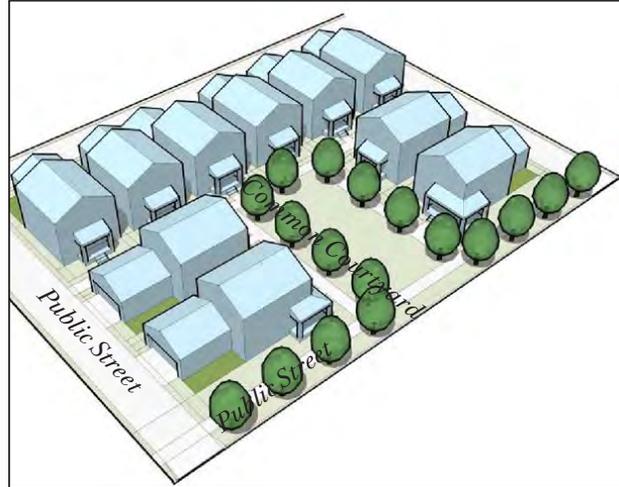


Linear Court Building Type, Plan View

Bungalow Green Court



Bungalow Court example, view looking into a green court



Bungalow Court Building Type, Perspective View

A Bungalow Green Court is a Building Type configuring consisting of four or more units arranged around a common courtyard. Pedestrian access to the building occurs along the edges of the courtyard and the public street. Garages are accessed from a shared rear alley. The Bungalow Court orients homes in a manner that creates common courtyards and activates the public street scene with open space pockets. Bungalow Green Courts may be mixed with Linear Green Court to maximize plotting efficiencies. In addition to Zone and frontage standards, the following standards shall apply to all Bungalow Court Building Types:

Plotting

May be attached or detached.

“Z” lot and RUE plotting are permitted.

Where plotting constraints exist, this Building Type may be plotted as a “half” Linear Court, with garage access taken from the street. Garage frontage along the street shall be limited to a maximum of four units in a row. Full driveways, with a minimum depth of 20 feet, shall be provided for all garages fronting the public street.

Access

The main entrance should be accessed and oriented to be visible from the courtyard, linear court, or a public street.

Parking and services shall be accessed through the alley.

Appropriate Frontage Types

Common Lawn.

Porch.

Stoop.

Building Size and Massing

Adjacent to the public street, buildings shall be composed of one- and two-story volumes or articulated with single-story elements such as porches, balconies, or wings.

Front elevations, facing the green court, linear courts or public street, are encouraged to be designed to have building massing offsets that vary the setback along the linear court or street as applicable to the plotting of the buildings.

Side elevations abutting a public street, green court, or linear green shall be designed with a comparable level of architectural expression as the front elevation.

Design of alleys should address the functional and aesthetic features of the space to create a pleasant experience for residents. This may include but is not limited to planting, decorative paving, upgraded garage doors, and building offsets along alley elevations.

Trash/Recycling and AC Units

AC units trash/recycling areas should be located on the alley and screened from view with landscaping or a fence.

Trash/recycling storage areas are encouraged to be located within the garage.

When trash/recycling storage are located in a garage, additional storage space shall be provided so as not to conflict with required vehicle parking area.

Private Open Space

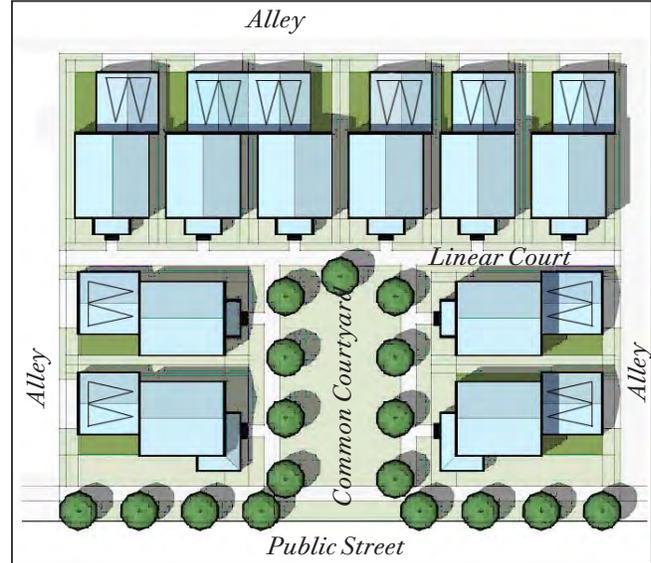
May be provided in the form of a porch, courtyard, yard space, or an interior court.

Minimum area of 60 square feet.

Minimum dimension of 6 feet. .

Common Court

A common courtyard feature is a centrally-located, semi-public or private open green space. These features can include decorative landscaping, lighting, a paved courtyard with potted plants, fountains and/or specimen trees as central focal elements, outdoor seating, and a themed courtyard to reflect the architectural character.

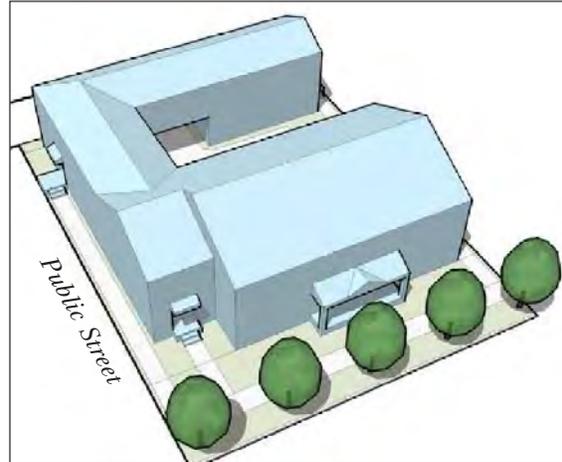


Bungalow Court Building Type, Plan View

Village House



Village House example



Village House Building Type Diagram, Perspective View - Motorcourt Type

Village House is a Building Type that consists of a large house containing 2 to 8 dwelling units. The building is designed to appear as a single large home. This category includes duets and triplexes. Village Homes are typically plotted to appear as a “single-family” lot accessed from street, or in court or garden Types, to provide greater common open space opportunities. In addition to Zone and Frontage standards, the following standards shall apply to all Village House Building Types:

Plotting

Attached.

Typically plotted to appear as a single family lot from each street frontage.

Access

The main entrance shall be private for each unit and accessed by walkways leading from parking or the street.

One entry on each street frontage should be highly visible from the street or otherwise emphasized to appear like the primary entry to the “Village Home.” Other entries should be recessed, located at the side of the building, or otherwise de-emphasized.

Up to four garage spaces may take direct access from the same street frontage (front loaded); all other spaces shall be accessed as a swing-in garage, by a common alley, or by motor court.

Ganging of single car garages is encouraged to preserve the single family appearance of the building.

Where an alley or motor court is present, parking and services shall be accessed through the alley or motor court.

Appropriate Frontage Types

Common Lawn.

Porch.

Stoop.

Building Size and Massing

Building shall be designed to appear as a large single-family “mansion” home.

Buildings shall be composed of one- and two-story volumes or articulated with single-story elements such as porches, balconies or offset building massing.

Courtyard walls matching or complementing the architecture of the building shall shield the majority of the motorcourt visible from the street.

Trash/Recycling and AC Units

Where an alley is present ac units and trash/recycling storage areas should be located on the alley and shielded from view by a wall, landscaping, or fencing.

Where a motor court Type is utilized for access, ac units and trash/recycling storage areas should be located within the motor court and shielded from view by a wall, landscaping, or fencing.

Where a front-loaded condition is utilized for access, ac units and trash/recycling storage areas shall be located at least 3 feet behind the front facing facade of the house and shall be shielded from public street view with landscaping, walls, or a fence.

In all Types, trash/recycling storage areas are encouraged to be located within the garage.

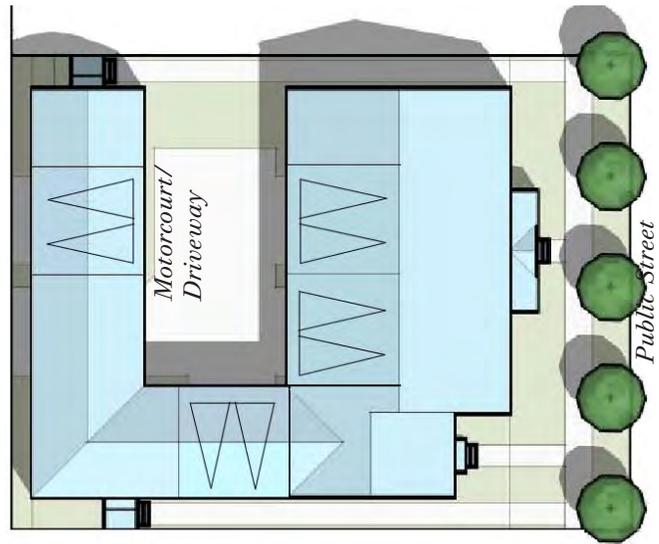
When trash/recycling storage are located in a garage, additional storage space shall be provided so as not to conflict with required vehicle parking area.

Private Open Space

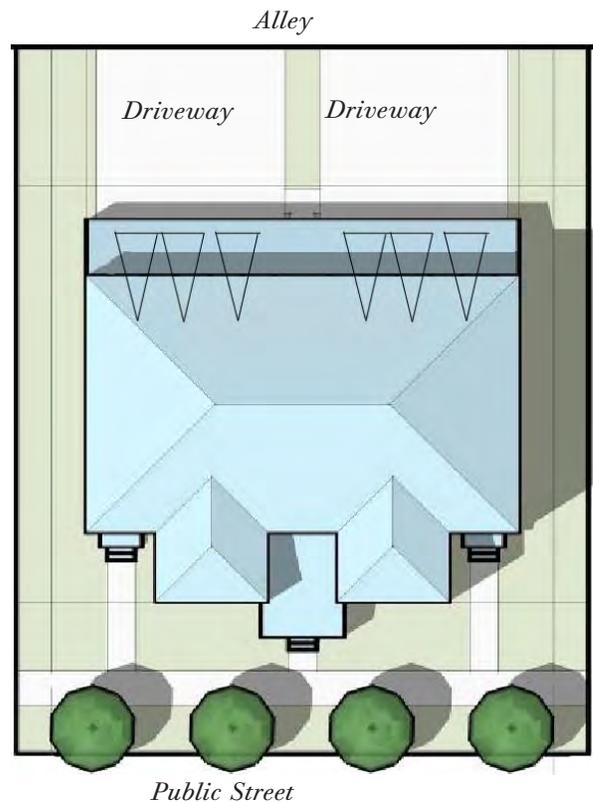
May provided in the form of a porch, courtyard, balcony, deck, yard space, or an interior court.

Minimum area of 60 square feet for ground floor unit; 50 square feet for upper floor unit.

Minimum dimension of 6 feet for ground floor unit; 5 feet for ground floor unit.



Village House Building Type Diagram, Plan View - Motorcourt Building Type

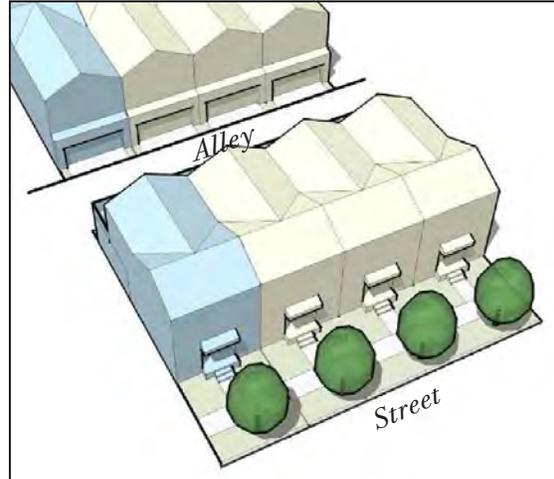


Village House Building Type Diagram, Plan view - Alley loaded Type

Row House



Row House Example



Row House Building Type, Perspective View

A Row House is a Building Type consisting of two- to three-story dwelling plotted in a row. Unlike the Single Family Building Type, Row houses typically consist of attached units (such as attached townhomes) or detached units with no side yard setbacks. Unlike the Stacked Unit Building Type (See Page 4-42), each unit is situated on an individual lot. Row homes may be plotted with a strong relationship to the street to create a more urban setting, or in court or garden Types to provide greater common open space opportunities in a more traditional townhouse Type. In addition to Zone and Frontage standards, the following standards shall apply to all Row House Building Types:

Plotting

May be attached or detached.

Detached units have no side yard setback between units (i.e. zero setback).

May be oriented toward the public street or toward a common open space area.

Access

Each unit shall have an individual pedestrian entrance that is accessed by walkways leading from parking, a common area, or the public street.

Where an alley is present, parking and services shall be accessed through the alley.

Where an alley is not present, parking, and services shall be accessed from the public street frontage by a full driveway, minimum 20 feet deep.

Appropriate Frontage Types

Common Lawn.

Porch.

Stoop.

Building Size and Massing

Building elevations facing public streets or public spaces shall be designed with a comparable level of architectural detail as front elevations.

Buildings shall be composed as a series of volumes or articulated with single-story elements such as porches, balconies or offset massing.

Where three-story buildings are permitted, massing shall step down to two-stories, or have dominant two-story massing adjacent to parks and open space areas.

Design of alleys should address the functional and aesthetic features of the space to create a pleasant experience for residents; this may include, but is not limited to planting, decorative paving, upgraded garage doors, and building offsets along alley elevations.

Trash/Recycling and AC Units

AC units and trash/recycling storage areas should be located on the alley and shielded from view by landscaping, walls, or a fence.

Trash/recycling storage areas are encouraged to be located within the garage.

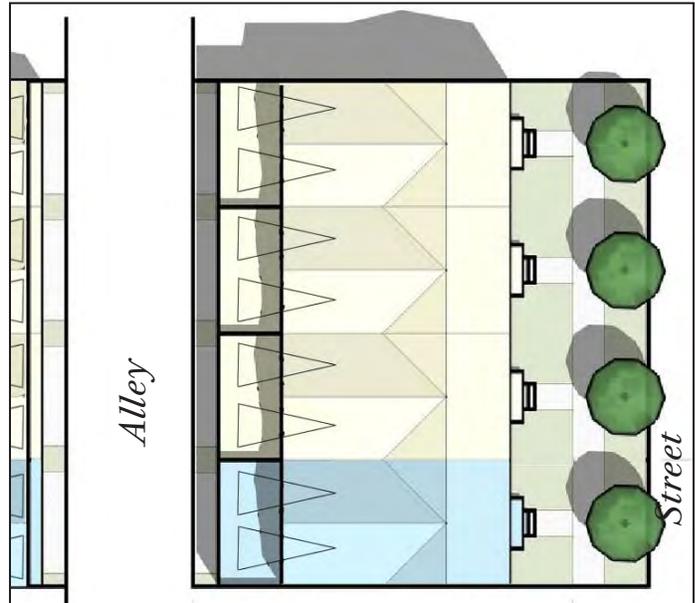
When trash/recycling storage are located in a garage, additional storage space shall be provided so as not to conflict with required vehicle parking areas.

Private Open Space

May provided in the form of a porch, courtyard, balcony, deck, yard space, or an interior court.

Minimum area of 60 square feet.

Minimum dimension of 5 feet

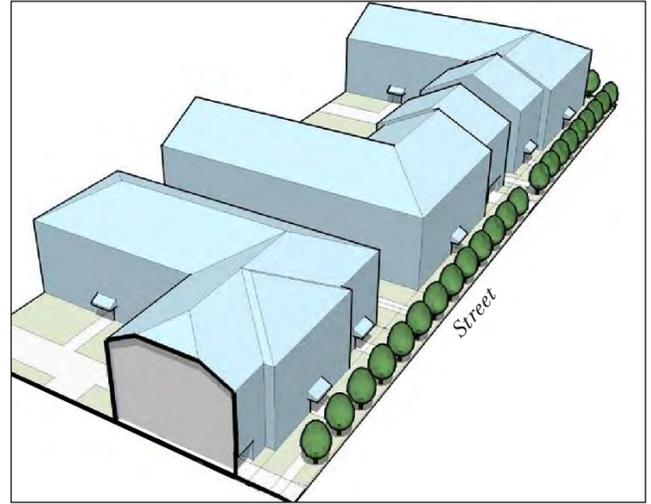


Row House Building Type, Plan View

Stacked Housing



Stacked Unit example



Stacked Units Building Type, Perspective View

Stacked Housing is a Building Type consisting of a larger scale residential building that includes multiple units. Units are typically comprised of apartments, flats, condominiums, and/or townhome units (for sale or for rent). Stacked Housing is typically larger than the Village House Building Type and the existence of multiple units within one building is apparent. Unlike the Row House Building Type, stacked housing is located on a common lot so that units or portions of units are able to be “stacked” above one another unit. The Stacked Housing Building Type is appropriate for use with in combination with or in proximity to retail shopping areas, employment centers, entertainment districts, institutions of higher learning, transit, parks, or other urban uses to create a dynamic activity cluster. In addition to Zone and Frontage standards, the following standards shall apply to all Stacked Housing Building Types:

Plotting

Attached.

Plotted to address public streets and surrounding uses.

Plotted to define interesting public spaces and common areas.

Access

The main entrance for each unit is accessed directly from the street, from parking or common areas, or from hallways or walkways.

Parking and services shall be accessed through an alley, within common parking lots, or within parking structures.

Appropriate Frontage Types

Common Lawn.

Porch.

Forecourt.

Stoop.

Building Size and Massing

All building elevations facing streets or public spaces shall be considered “front” elevations and shall provide a comparable level of architectural design and detail.

Massing of buildings shall be reduced in at least 1 of the following ways:

- Massing offsets
- Differentiation of units
- Stepped massing

Trash/Recycling and AC Units

AC units and trash/recycling storage areas shall be located on the alley, within common access spaces, or within garages.

AC units and trash/recycling storage areas shall be screened by buildings, walls, or landscaping so they are not visible from the public street.

When garages or parking structures are provided, trash/recycling storage is encouraged to be located within the garage or structure; additional storage space shall be provided so as not to conflict with required vehicle parking areas.

Private Open Space

May provided in the form of a porch, courtyard, balcony, deck, yard space, or an interior court.

Minimum area of 60 square feet for ground floor unit; 50 square feet for upper floor unit.

Minimum dimension of 6 feet for ground floor unit; 5 feet for ground floor unit.

May be provided off-site, within 200 feet of the building it is intended to serve.

Live Work



Live/Work unit example



Live/Work signage example

People should have a reasonable opportunity to live close to where they work allowing for a better balance between housing and jobs, a reduction in gas consumption, and less traffic congestion. Live/Work units facilitate individual or attached homes designed to accommodate residential as the primary use with work space for home occupations or qualifying businesses. Live/Work Building Types are appropriate for integration with the scale and grain of the residential neighborhood. Access and visibility of units should be considered to promote viability of the associated non-residential use. In addition to Zone and Frontage standards, the following standards shall apply to all Live/Work Building Types:

Plotting

Plotted to face a public street or paseo accessible by on-street parking within 200 feet.

Recommended to be plotted in groups (4 or more units) to promote compatibility and an enclave character conducive to small-businesses.

Residential shall be the primary use, home occupation and other permitted uses shall be the secondary use; “work” area shall comprise no more than 30% of the total square footage of the unit, exclusive of stairs.

Access

The main entrance shall be individual for each unit and accessed by walkways leading from parking or the street

Residential and non-residential main entries may be separate or combined.

Signage for individual units shall be attached to the unit or building along the visible street and/or paseo exposure; Refer to the Comprehensive Sign Regulations at the end of this chapter.

Appropriate Frontage Types

Porch.

Stoop.

Storefront.

Building Size and Massing

Building elevations facing streets or public spaces should be designed with a comparable level of architectural detail as the front elevation.

Entries to individual units/homes should be easily discernible through the use of design elements, porches, or courtyards.

Buildings shall be composed of one- and two-story massing or articulated with single-story elements such as porches, balconies or wings.

Architecture of Live/Work Building Types shall complement the architectural character of the neighborhood in which it is located. However, additional glazing, non-residential design elements and/or roll-up access doors are permitted; design of these elements shall be done in a manner that does not detract from the intended character of the neighborhood.

Trash/Recycling and AC Units

AC Units and trash/recycling storage areas shall be located on the alley or within common access spaces; they shall be screened by buildings, walls, or landscaping so they are not visible from the public street.

When garages or parking structures are provided, trash/recycling storage is encouraged to be located within the garage or structure; additional storage space shall be provided so as not to conflict with required vehicle parking areas.

Private Open Space

May provided in the form of a porch, courtyard, balcony, deck, yard space, or an interior court

Minimum area of 60 square feet

Minimum dimension of 6 feet



Live/Work building example



Live/Work front yard / porch example

Shopkeeper



Shopkeeper storefront example

Similar to the intent of the Live/Work Building Type, the Shopkeeper Building Type provides people with a reasonable opportunity to live close to where they work, allowing for a better balance between housing and jobs, a reduction in gas consumption, and less traffic congestion. Shopkeeper units take the live/work concept one step further by providing separate living and working spaces within the same building. Unlike live/work units, the living space is completely separated from the associated commercial space. Separate entries or a residential “lock-out” unit (typically located above the commercial space) allows the commercial space to be leased by the resident or conversely, the residential space to be leased by the shopkeeper. Shopkeeper units are typically found in neighborhoods with a predominantly commercial character (in contrast to Live/work units, which are typically located in neighborhoods with a predominately residential character). In addition to Zone and Frontage standards, the following standards shall apply to all Shopkeeper Building Types:

Plotting

Plotted to face a street or paseo accessible by on-street parking within 200 feet.

Recommended to be plotted in groups (4 or more units) to promote compatibility and an enclave character conducive to small-businesses.

Access

The main entrance shall be individual for each unit and accessed by walkways leading from parking or the street.

Residential and non-residential entries shall be discernibly separate. The commercial entry shall be highly visible from the street or public paseo.

Signage for individual units shall be attached to the unit or building along the visible street and/or paseo exposure; Refer to the Comprehensive Sign Regulations at the end of this chapter.

Parking and garages shall be accessed from an alley.

Appropriate Frontage Types

Stoop.

Awning.

Gallery.

Building Size and Massing

Building elevations facing streets or public spaces should be designed with a comparable level of architectural detail as the front elevation.

Entries to individual units/homes should be easily discernible through the use of design elements.

Massing of buildings shall be reduced in at least 1 of the following ways:

- Massing offsets
- Differentiation of units and stepped massing
- Material and/or color change

Trash/Recycling and AC Units

AC units and trash/recycling storage areas shall be located on the alley or within common access spaces; they shall be screened by buildings, walls, or landscaping so they are not visible from the public street.

When garages or parking structures are provided, trash/recycling storage is encouraged to be located within the garage or structure; additional storage space shall be provided so as not to conflict with required vehicle parking areas.

Private Open Space

May be provided in the form of a porch, courtyard, balcony, deck, yard space, or an interior court

Minimum area of 60 square feet.

Minimum dimension of 6 feet.

Commercial Block



Commercial Block Example



Commercial Block is a Building Type consisting of a larger scale commercial or mixed-use building comprised of offices, retail spaces, apartments, flats, and/or townhome units (for sale or for rent). Mixed use buildings typically consist of retail or office space on the ground floor and office or residential space on upper floors. Appropriate for use in retail shopping areas, employment centers, and near transit, parks, or other urban uses to create a dynamic activity cluster. Commercial Block buildings shall have a strong pedestrian relationship to the street. In addition to Zone and Frontage standards, the following standards shall apply to all Commercial Block Building Types:

Plotting

Little or no setback from the street to define the public street edge.

Plotted to create interesting plazas and other public spaces.

Access

The main entrance for ground floor units are typically accessed directly from the street or a shared lobby but can also be accessed by walkways leading from parking or from hallways.

Entrances to upper floor units are typically accessed by hallways; some second story units may be accessed by external stairways.

At-grade parking areas and services shall be accessed through an alley.

Below-grade and wrapped parking structures may be accessed from a side street or alley.

Appropriate Frontage Types

Awning.

Gallery.

Building Size and Massing

Building elevations facing streets, public spaces, and large parking areas shall be considered “front” elevations and require a comparable level of architectural design and detail.

Massing of buildings shall be reduced in at least 1 of the following ways:

- Massing offsets
- Differentiation of units and stepped massing
- Material and/or color change

Mechanical Equipment/Trash & Recycling Storage

Mechanical equipment and trash/recycling storage areas shall be located at rear of building or within common public parking lot spaces not visible from the street

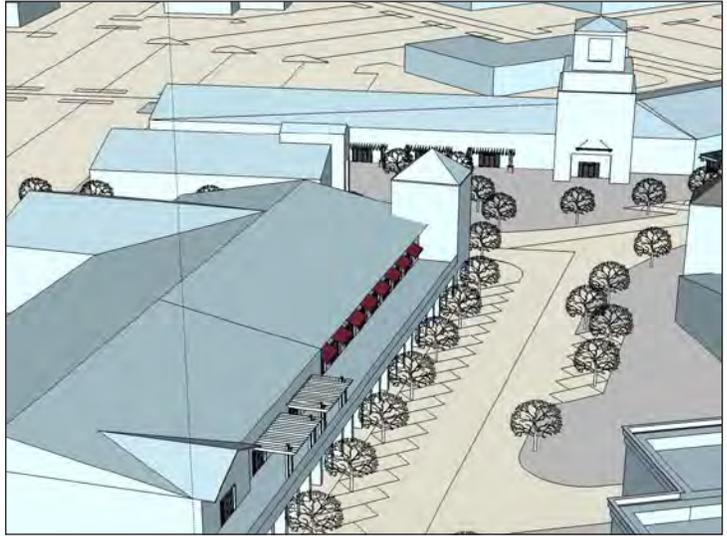
Mechanical equipment may be located in parking structures, below grade, or on the roof.

Private Open Space

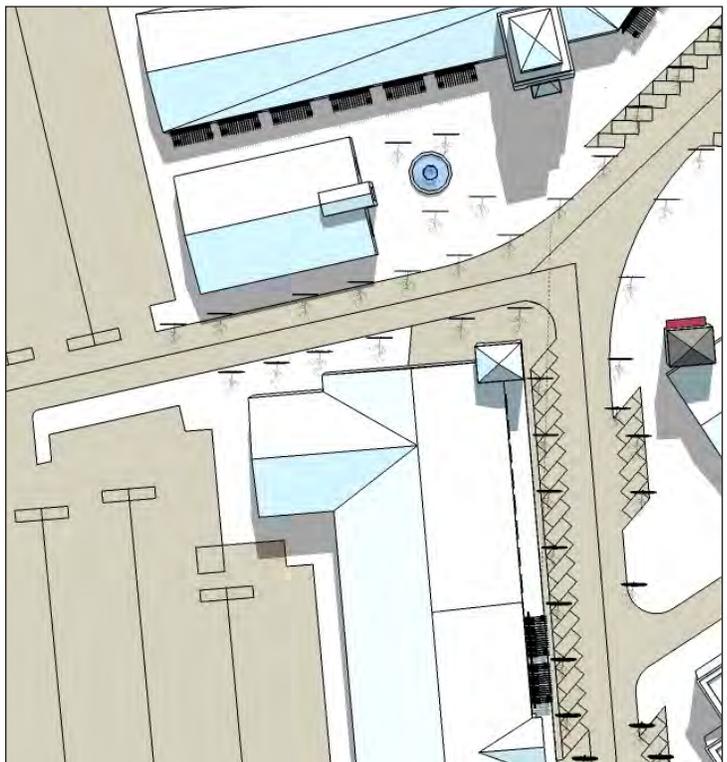
May provided in the form of a courtyard or balcony.

No minimum required.

Minimum dimension of 5 feet.



Commercial Block Building Type, Perspective View -Surface Parking



Commercial Block Building Type, Plan View -Surface Parking

Non-Residential Building Types



Outdoor seating and activity areas encouraged

A range of Non-residential Building opportunities are available. These buildings include business park, office, and commercial buildings. These uses are often associated with a multi-family community, or parks. Design and lot Type of Non-residential Building Types are encouraged to be consistent with the character and scale of its neighborhood.

Parking should be provided in parking lots or shared parking Types within appropriate walking proximity to the building. Planting and trees should be used to soften large areas of parking and transition from parking to pedestrian/building spaces. In addition to Zone and Frontage standards, the following standards shall apply to all Non-Residential Building Types:

Plotting

Common public open space in the form of a courtyard, covered porch or balcony oriented toward the street, paseo, vistas or activity center is encouraged.

Non-uniform front setback; minimum 2 wall plane offsets.

Access

Parking and building access shall be easily discerned and well marked.

Vehicular and pedestrian access shall be intuitive and direct.

Service and loading activities, where feasible, shall be oriented away from the street frontage and pedestrian access, otherwise these activities shall be screened from view of the street and pedestrian access.

Signage may be provided on 2 building elevations facing public access ways.

Frontage Types

Common lawn.

Forecourt.

Awning.

Gallery.

Building Size and Massing

Roof forms should be designed to match the architectural style of the building and create interest for the building form. At least 2 roof forms or plate heights are required.

Building form and massing shall not overwhelm the streetscene. Integrate the design of the building with the scale of the surrounding development.

Singular building volumes are discouraged. Where feasible and practical to the building function, offset massing and volumes are encouraged.

Iconic architectural features distinguishing design and character appropriate to the architectural style of the building are encouraged.

Integrate building design with the site through the use of landscape and hard-scape elements.

Mechanical Equipment/Trash & Recycling Storage

Mechanical equipment and trash/recycling storage areas shall be located at rear of building or within common public parking lot spaces not visible from the street.

Mechanical equipment may be located in parking structures, below grade, or on the roof.

Public services may not be available from the alley, common spaces, parking structures, below grade or on the roof due to service limitations and private ownership of the alleys, common spaces, and other areas.

Iconic Architecture

Buildings intended for iconic architecture may submit design plans that do not strictly conform to the standards and/or design guidelines of this document and will be considered “innovative” buildings under this document to be reviewed independently. Innovative buildings are those that, for architectural, use, or site planning reasons, need flexibility in design and development standards. The innovative design shall still be required to meet the intent and vision of this document and reflect the character of Loma Rica Ranch.

Architectural Styles



Introduction

The architecture of Grass Valley reflects its heritage and is typical of the region. Materials are primarily wood with some brick and more recently some concrete. This small gold rush community was the center of one of California's richest gold production. The downtown reflects this influence. The architectural styles selected for Loma Rica have evolved throughout California and the Gold Country since the late 1800's. Their inherent attractiveness, informality, and sense of elegance have enabled these styles to remain popular over a long period of time. Styles for Loma Rica include:

- Victorian
- Foursquare
- Farmhouse
- Colonial
- Craftsman
- Italianate

The style information on the following pages provides the builder and design consultants with the tools to create functional and attractive architectural designs without using gimmicks or sacrificing the integrity of the style. The "Style Elements" per style are offered as guidelines to encourage a high quality of architecture and reasonable level of authenticity of styles through the use of appropriate elements. These elements are not required, however the use and combination of these elements should be considered in crafting an elevation aesthetically representative of the intended style.

In addition the non-residential buildings shall be designed to reflect the pedestrian friendly styles of the homes.

Victorian Style



Victorian Perspective View

Style Characteristics

The Victorian style spread throughout the United States as a by-product of railroad expansion. Inexpensive spindle-work and Victorian detailing became available for distribution with the growing number of train stations. New homes were constructed with the same simple form, adding Victorian detailing. Even older homes added new wood-work as an aesthetic upgrade. The popularity of the Victorian detailing corresponded with the initial population growth of Grass Valley area in the late 1800's and early 1900's. The key element of this style is the simple roof form with spindle work detailing and brackets at porches and gable ends.



"Gable-L" multi-family house



Typical porch and second story deck



Typical porch

Victorian Style Elements:

- Plan form is typically a simple box or "L"-shaped.
- Roofs are typically of steeper pitch with shingles or flat concrete tiles and exaggerated eaves.
- Roof forms are typically comprised of a main front-to-back gable with intersecting gables or hips.
- Wall materials may include stucco and/or horizontal or vertical siding.
- Decorative shingle siding accents are sometimes used at gable ends.
- A front porch typically shelters the main entry.
- Decorative spindle work typically used at porch railings and gable ends.
- Exposed rafter tails are sometimes used.
- Simple colonial trim is typical at doors and windows.
- Windows are typically accented with shutters or dormers.
- Cornice detail is typical.



Multi-family Victorian detail



Steep gable end spindle work

Foursquare Style



Foursquare Perspective View

Style Characteristics

More accurately a house form than a style, Foursquare architecture relies on a simple square plan. Generally as tall as they are wide, the Foursquare is crowned with a moderately steep-pitched hip roof and a centered singular hipped dormer. The minimal detailing of this form driven style was a reaction to the more ornate and overly decorative styles of Greek Revival and Victorian. The broad front porch with simple railing and Craftsman-like siding and window trimming completed the overall look of this style.

A popular style for mail-order homes, this style became prominent in towns near rail-lines throughout the United States.



Siding, columns and brackets



Typical "small apartments"



Iconic form, porch and materials

Foursquare Style Elements:

- Plan form typically two-story box with no offsets.
- Roofs are typically of moderate pitch with shingles or flat concrete tiles.
- Roof forms are typically a single full hip with exaggerated overhangs; closed soffits or flared eaves are sometimes used.
- A single hip-roofed dormer is typically the main feature of the elevation.
- Porches are typically sheltered under the main hip, or under a separate hip or shed element.
- Brackets under eaves are typical, or simple cornice trim.
- Wall materials may include horizontal siding or stucco; front elevation is typically a single material.
- Roofs are typically articulated by a single hip dormer; centered or offset is appropriate.
- A front porch typically shelters the main entry with simple columns and railings.
- Windows are typically fully trimmed with cap molding head trim.



Porch under hip roof

Farmhouse Style



Farmhouse Perspective View



Style Characteristics

The Farmhouse represents a practical and picturesque country house. Its beginnings are traced to both Colonial styles from New England and the Midwest. As the American frontier moved westward, the American Farmhouse style evolved according to availability of materials and technological advancements - such as balloon framing.

Large wrapping front porches with a variety of wood columns and railings are the predominant feature of the style. Two story massing, dormers and a casual cottage look, with a more decorated appearance, is typical of the Farmhouse adaptations that spread through the West and California.



Typical porch



Typical porch with picket fence



Illustrative window

Farmhouse Style Elements:

- Plan form is typically simple.
- Roofs are typically of steeper pitch with shingles or flat concrete tiles.
- Roof forms are typically a gable roof with front facing gables and typical overhangs.
- Roof accents sometimes include standing-seam metal or shed forms at porches.
- Wall materials may include stucco, horizontal siding and brick.
- A front porch typically shelters the main entry with simple posts.
- Windows are typically trimmed in simple colonial-style; built up head and sill trim is typical.
- Shaped porch columns typically have knee braces.



Contemporized Multi-Family Farmhouse



Classic form with standing-seam accent roof



Gabled roof with siding and porch element

Colonial Style



Colonial Perspective View

Style Characteristics

The initial source of the style originated from the work of the Adams brothers, British architects who drew heavily from their European travels to early Greek and Roman monuments. Their building forms reflected grand scale and vertical emphasis, using classical elements such as porticos, columns and decorative motifs such as the swag and garland.

Second stories with overhangs, dormers and gabled roof forms became favored, evolving into classic elements of this traditional American style. Later, wings of smaller continuous gable forms were added to each side of the house. Wood shutters and white picket fences were the finishing details for an otherwise simple and functional form.

The primary form of this style is the two-story flat front box form. Other identifying features of this style include a monumented entry with decorative crown (pediment) supported by pilasters or columns projecting forward of the otherwise flat facade to form an entry porch. The entry is typically the centered on the elevation. Windows are frequently placed in adjacent pairs flanking the entry in a symmetrical manner.



Typical flat facade with Colonial detail



Centered entry, symmetrical facade



Colonial facade with materials, shutters and entry portico

Colonial Style Elements:

- Plan form typically simple box with a flat facade.
- Roofs are typically of steeper pitch with shingles or flat concrete tiles and typical eave overhangs.
- Roof form is typically a front-to-back gable or singular hip.
- Stucco, brick and horizontal siding are typical wall materials; colonial style or brick trim is typically used as accents.
- The entry feature is typically traditionally pedimented with a substantial portico, stoop or surround.
- A round-top fan-light window is typically used above the front door.
- Louvered shutters flanking fully trimmed windows are typical.
- Columns are typically simple and classical or, traditional with built up cap and base trim.
- The cornice is sometimes emphasized by dentials or decorative molding.
- Bay windows are sometimes incorporated.



Typical flat facade with Colonial detail



Brick and pedimented entry express the style on this building

Craftsman Style



Craftsman Perspective View

Style Characteristics

A long standing tradition in the local scene, Craftsman homes can be found nestled in the original town center of Grass Valley. Influenced by the English Arts and Crafts Movement of the late 19th century and stylized by California architects such as Bernard Maybeck in Berkeley and the Greene brothers in Pasadena, the style focused on exterior elements with tasteful and “artful” attention. Originating in California, Craftsman architecture relied on the simple house tradition, combining hip and gable roof forms with wide, livable porches and broad overhanging eaves. The style was quickly spread across the state, and throughout the country, by pattern books, mail-order catalogues and popular magazines.

Extensive built-in elements define this style, treating details such as windows and porches as if they were furniture. The horizontal nature is emphasized by exposed rafter tails and knee braces below broad overhanging eaves rustic-textured building materials. The overall effect was the creation of a natural, warm and livable home of artful and expressive character. Divergences in expression of Craftsman designs were obvious between Northern and Southern California and slight changes in elements can still lend homes completely different characters. Substantial, tapered porch columns with stone piers lend a Greene character, while simpler double posts on square brick piers and larger knee braces make a Craftsman distinctly more Maybeck.



Traditional Craftsman



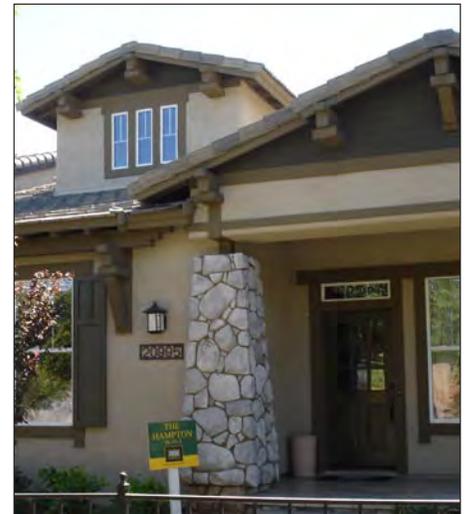
Traditional Craftsman



Clean form and details of Craftsman porch

Craftsman Style Elements:

- Plan form is typically a simple box.
- Roofs are typically of shallower pitch with shingles or flat concrete tiles and exaggerated eaves.
- Roof forms are typically a side-to-side gable with cross gables.
- Roof pitch ranges from 3:12 to 5:12 typically with laminated shingles or flat concrete tiles.
- Wall materials may include stucco, horizontal or shingle siding and stone.
- Exposed rafter tails are typical under eaves.
- Siding accents at gable ends are typical.
- A front porch typically shelters the main entry.
- Porch columns can be done in a variety of distinctive ways. The following three options are typical of the Craftsman style:
 - Battered tapered columns (Stucco, brick or stone are typical)
 - Battered columns resting on brick or stone piers (either or both elements are tapered)
 - Simpler porch supports of double square post resting on piers (Stucco, brick or stone are typical); piers may be square or tapered
- Windows are typically fully trimmed.
- Window accents typically include dormers or ganged windows with continuous head or sill trim.



Exposed rafter tails and materials



Front-facing gables with rafter tails and materials

Italianate Style



Italianate Perspective View

Style Characteristics

Emerging from the rapidly built row houses of San Francisco, this style bridges the genres of Greek Revival and Queen Anne. The Italianate style is distinctive in its exaggeration of Italian Renaissance characteristics including emphasis on eave and cornice treatments. Initially a simple, tall, narrow building type, the decorative details engendered, or propagated variety amongst the repetitious plans as shaped wood work details became readily available through factory production. The Italianate style was popular in the late 1860's since it was suitable for a wide variety of building types, materials and budgets.

Single family homes were typically symmetrical 2 or 3-story box with overhanging eaves and a center cupola. Italianate bracket and window detail was easy to add.

The principle identifying features of the Italianate home are the decorative brackets along the exaggerated cornice line and projecting bay windows under hipped roofs.



Formal bay windows and cornice



Contemporized form with bay window, portico, spindle railing and cornice details



Typical single-family house

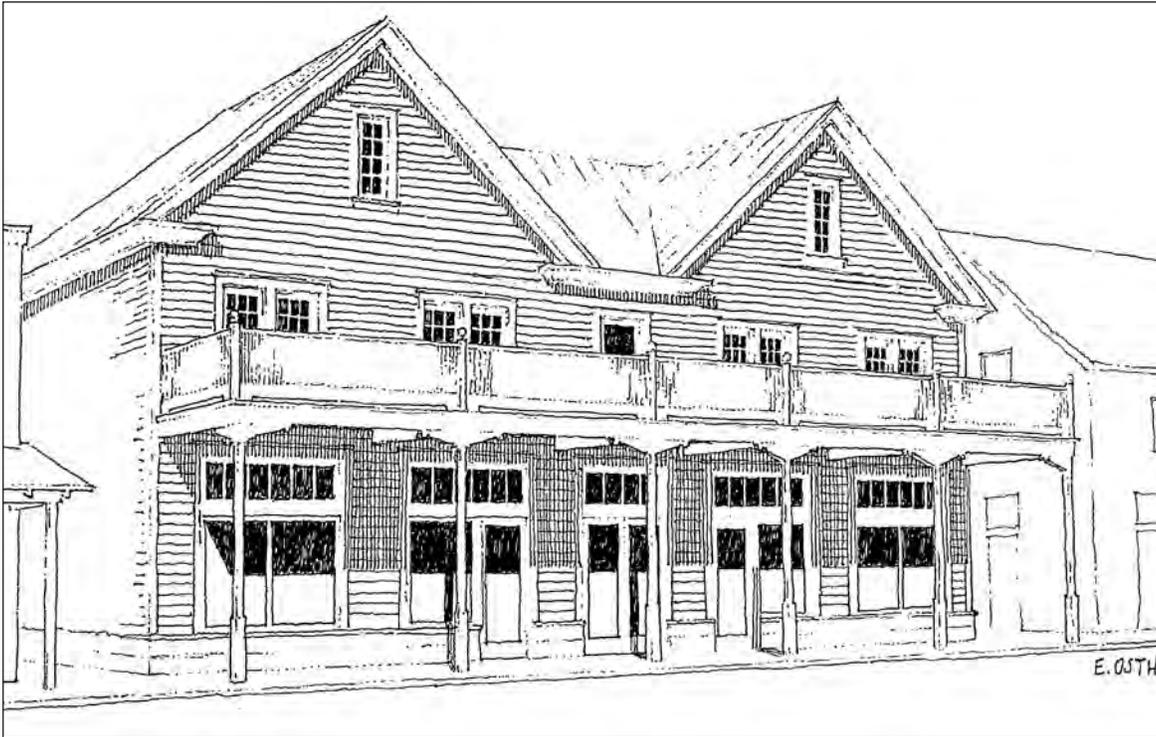
Italianate Style Elements:

- Plan form is typically a simple two-story box.
- Roofs are typically a shallow pitched single hip with shingle or flat tile or shielded by a parapet with exaggerated overhangs.
- Sometimes a square cupola or tower is provided.
- Wall materials typically consist of stucco or horizontal siding.
- A detailed cornice is typical.
- Decorative brackets, evenly spaced supporting the cornice are appropriate.
- Bay windows, angled or square, are typically the prominent feature of the elevation.
- Front entry is typically sheltered by a porch, stoop or vestibule.
- Front entry is sometimes further detailed with classically inspired pilasters, columns and/or garland features.
- Windows are typically accented with full trim and sometimes are full or segmented-arched in shape.



Simple cornice feature and bay window forms evoke style for this building

General Non-Residential Guidelines



Mixed-Use Perspective View

General Non-residential Guidelines

Variety in type and form of non-residential development will activate the mixed-use character nature of Loma Rica. Image, character, quality and the aesthetic interest of a place is solidified by the architectural design of the building as an individual entity and as an element in the community composition. Architectural design of non-residential development at Loma Rica should be based on regional examples of quality architecture of enduring character; representing the best of Grass Valley.

Design should:

- Express the character of historic regional examples within the parameters of modern construction practices and materials.
- Be scaled appropriately and authentic to the location and use of the building.
- Present a unified development character without creating repetitious or redundant forms or design.

Building Form

Building placement, form and detail should complement each other to create an aesthetically interesting streetscape viable for pedestrian and business activity.

- Building forms should be well-proportioned resulting in a balanced composition of elements.
- Modulation and variation of building masses between adjacent buildings is encouraged.
- Building massing should consist of a mix of heights, within or between buildings, to provide visual interest to the site.
- Buildings featuring heightened aesthetic architectural design less massing and height variation.



- Layering of wall planes and volumes should provide a rhythm of dynamic building forms and shadows.
- Massing at corners, project entries or major intersections should:
 - ~Increase massing as a prominent design element(s) or tower(s) to engage corridor views *or*
 - ~Step down massing elements to interface with the streetscape *or*
 - ~Provide a built-out and simple unified design statement to the building.
- Prominent massing features should be designed in conjunction with key elements, such as building entries, pedestrian nodes, plazas or courtyards, to function as:
 - ~Announcement of prominent intersections or project entries.
 - ~Highlight features of building entries.

Roof Considerations

Roofs should be designed for functionality and enhance/complement the overall architectural design of the building.

- Vertical roof plane breaks, changes in building/ridge height or other accent roof forms are encouraged.
- Form and materials shall be integrated with the overall design vocabulary of the development.
- Fascia and/or cornice elements should be consistent with the primary design.
- Parapet, when used, should be contiguous and incorporate side/rear elevation returns to eliminate false front/unfinished appearance.

Facade Treatments

Building should have articulation along auto and pedestrian corridors to generate pedestrian scaling and visual interest along the streetscape.

- Architectural design of buildings should avoid blank walls, especially along the primary pedestrian walkway.
- Buildings comprised of one building material shall be detailed with banding, architectural details, textures, color variation and/or offset massing.
- Projections, overhangs and recessed should be used to provide shadow articulation and scale to building elevations.
- Building elevations exposed to the street or pedestrian thoroughfare should be considered equally.
- Architectural design of the building should be unified all pedestrian or major corridor elevations.
- Elevations having appropriate shielding, and not located on a pedestrian or major corridor, do not require architectural enhancements. However, roof or parapet treatments should be consistent with enhanced elevations.

“Main Street”



“Main Street” Perspective View

“Main Street” Characteristics

The “main street” streetscene should resemble an idealized image of a traditional retail Main Street. The organic development of these main streets will involve the addition or replacement of buildings over an extended period by individual builders. This development process will create a composition of eclectic character, a sense of variety and spontaneity, fostering pedestrian and business vitality. The desired eclectic streetscene can consist of authentic interpretations of various traditional design vocabularies, more contemporary interpretations or ideally an interesting combination which reinforces the perception of a long established community built over time.

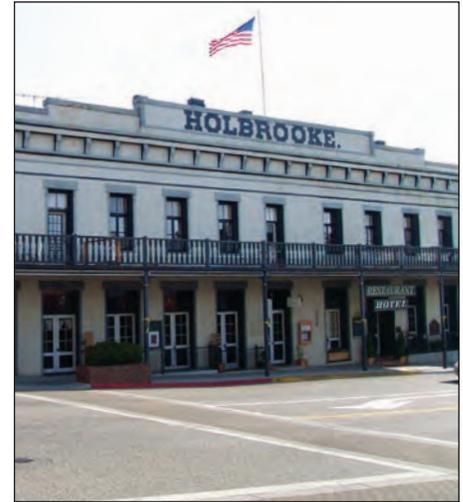
As the major character icon and gathering place of Loma Rica, the composition of the buildings and streetscene require the highest level of consideration and detail in the non-residential design. The “Main Street” only occurs along three blocks of Dorsey Drive extension as shown on page 4-74 with the label “Neighborhood Center Boulevard.”



Mixed-use building in Nevada City



Two-story galleries



The Holbrooke Hotel in Grass Valley

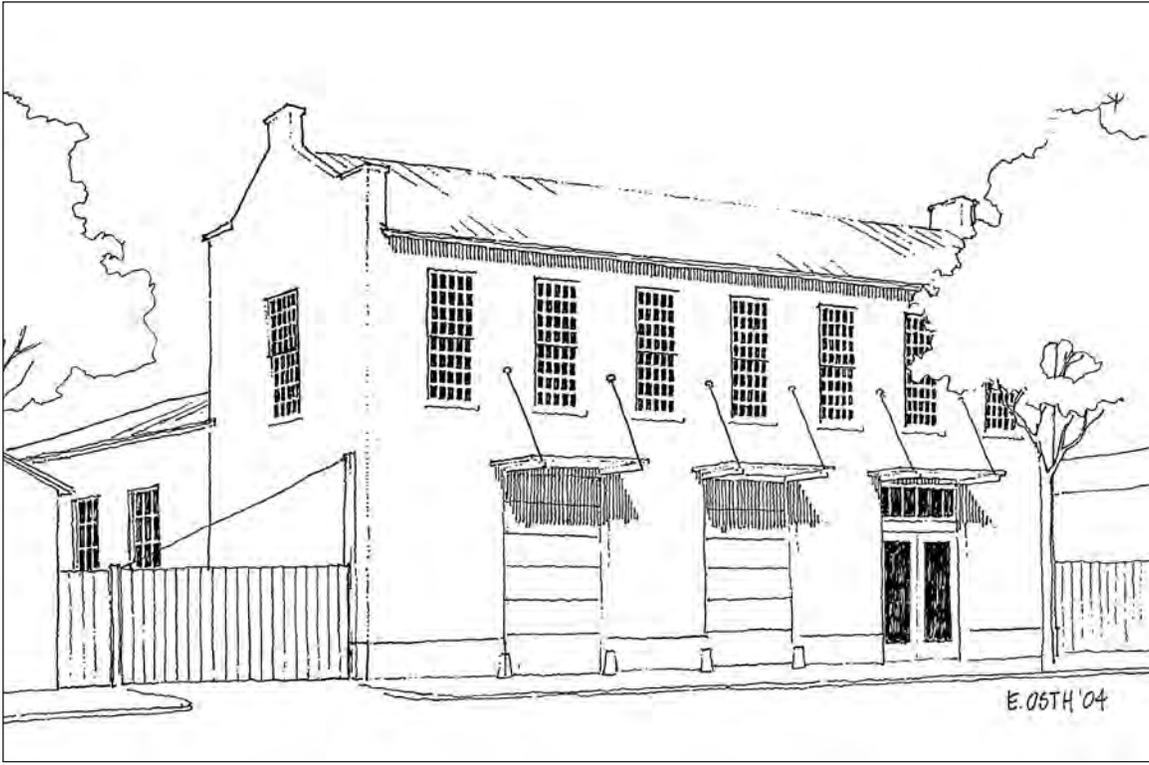
"Main Street" Guidelines:

- Reflect a visually stimulating design vocabulary patterned after small-town American main streets.
- To the extent feasible, buildings should generally appear as a collection of individual small buildings rather than a single uninterrupted large building; forms appear to be a on a tenant-by-tenant basis, having varied facade treatments and design as if the streetscene developed over time.
- Multiple building heights and parapet/fascia treatments are encouraged.
- Ground floors have storefront design with large windows and articulated entries.
- Pedestrian-scale windows, features and massing should be incorporated.
- Building/tenant entries shall be articulated.
- Horizontal definition between uses, generally between the first- and second-story, is encouraged.
- Larger single-tenant buildings should use massing offsets and architectural elements to create visual interest in the building and reduce the overall mass.
- Recesses and/or projections are encouraged to articulate facade with light and shadow variation; balconies, pronounced sill trim, awnings or recessed windows are encouraged on upper stories for this purpose.



Along the sidewalk

Special District Buildings



Perspective View

Special District Characteristics

Special District buildings should reflect the character of Loma Rica, Grass Valley and the near by business parks. The buildings typically combine a neighborhood-scaled 1 to 2 1/2 story portion that are oriented towards the street with a larger-scaled 1 to 1 1/2 warehouse piece often with a mezzanine. Basic massing volumes are typically characterized by tall first floor heights, simple, rectangular forms, low-sloped shed and gable roof forms, and repetitively-dimensioned bays. They have precedent in the early 20th-century agricultural and industrial buildings of the Sierra Foothills; however, the Special District buildings may also reflect more modern building facades such as those picture on page 4-65.



Gable roof form at entry



Use of stone materials

Guidelines:

- Avoid monolithic masses of singular form, height, wall plane or material
- Articulate entry statements for pedestrian/user identification.
- Articulate forms with layered wall planes, banding, architectural details and/or materials. At least two of the following techniques should be used to enhance building architecture and reduce overall mass:
 - Color variation
 - Change in texture
 - Vertical/horizontal wall plane projections/recesses (minimum 2-foot offset)
 - Variation of roofline (height or form)
 - Revealed pilasters
 - Architectural elements significantly different from main building in mass or height
 - Trellis or awning element (proportional to massing of building)
 - Balconies
 - Aesthetic window groupings or treatments
- Use a mixture of materials from the foothill region architecture as shown in the adjacent photographs.



Simple massing with entry feature

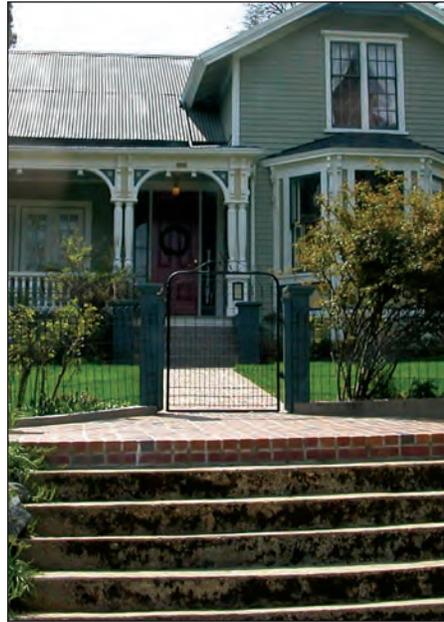


Simple massing with windows

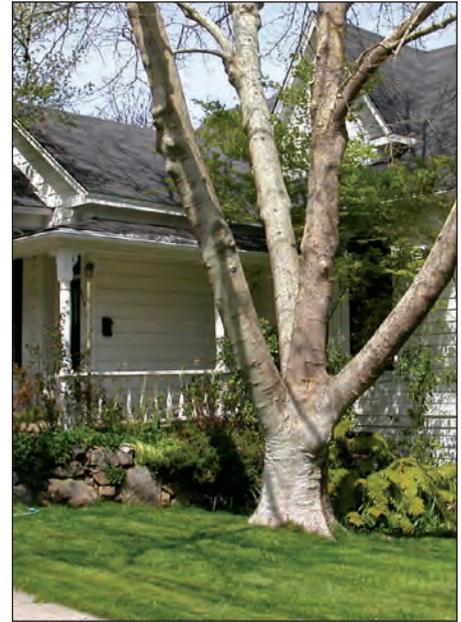
Landscape Patterns



Front yards



Steps, walls, and fences

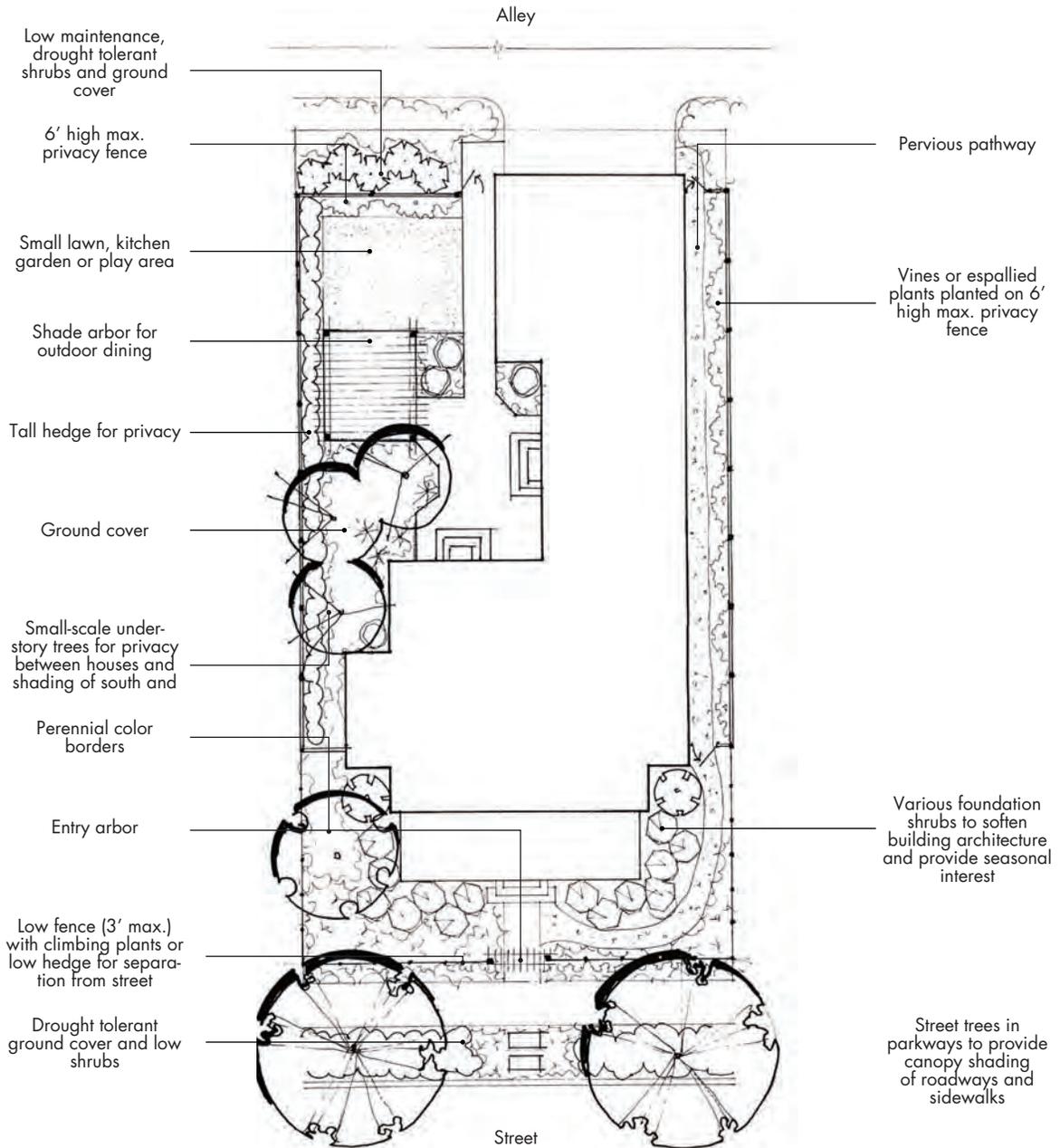


Planting and landscaping

Introduction

Appropriate landscaping will be a critical component of the development of the Loma Rica Ranch. The system of parks and open spaces - outlined in Chapter 5 - will maintain a palette of native plants in natural areas and promote a healthy mix of native and adaptive plants in neighborhood parks and developed areas. Landscaping of private lots should maintain a high standard of design that complements the open space landscape and integrates seamlessly with the built environment.

This section includes basic planting plans that summarize planting strategies for private lots, recommendations for planting and landscaping based on solar orientation, strategies for siting, grading, and landscaping on sloped properties, a palette of walls and fences appropriate for use on private lots, and landscaping guidelines for non-residential and mixed-use buildings. Planting plans have been developed using the Landscape Plant Matrix that appears in Appendix A.

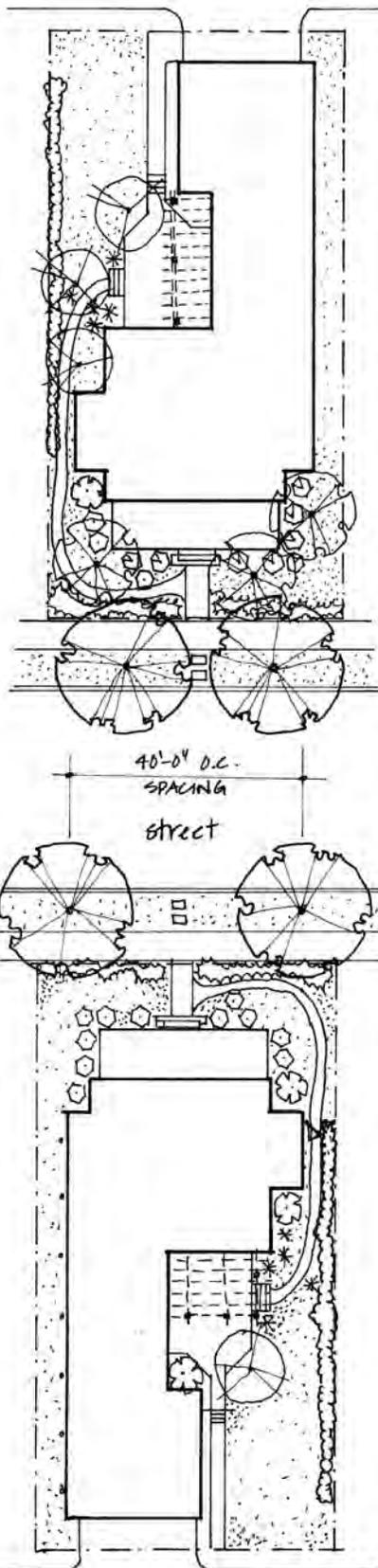


Private Lot Landscape, Drawing by Jo McProud, McProud & Associates

Private Lot Landscaping Recommendations

Lot landscaping will strive to utilize low-maintenance, drought-tolerant plantings that can take advantage of the well-scaled, often intimate spaces created by the placement of houses and buildings. Large expanses of grass lawn should be minimized as they are often high maintenance and use water inefficiently.

Different solar orientation scenarios have been developed as a foundation of recommendations that property owners and developers may utilize.

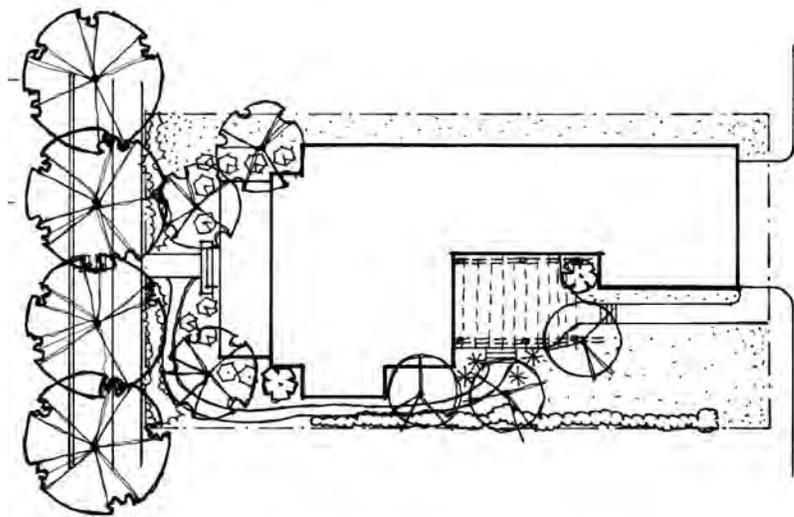


South-Facing Lots

Private lots that have a strong southern exposure may utilize denser planting in the front yard area in order to shade the front of the house, particularly during the warmer months of the year. Streets with continuous southern exposure along the public right-of-way may also decrease street tree spacing to as little as 20' on center to maintain a cooler urban environment.

West-Facing Lots

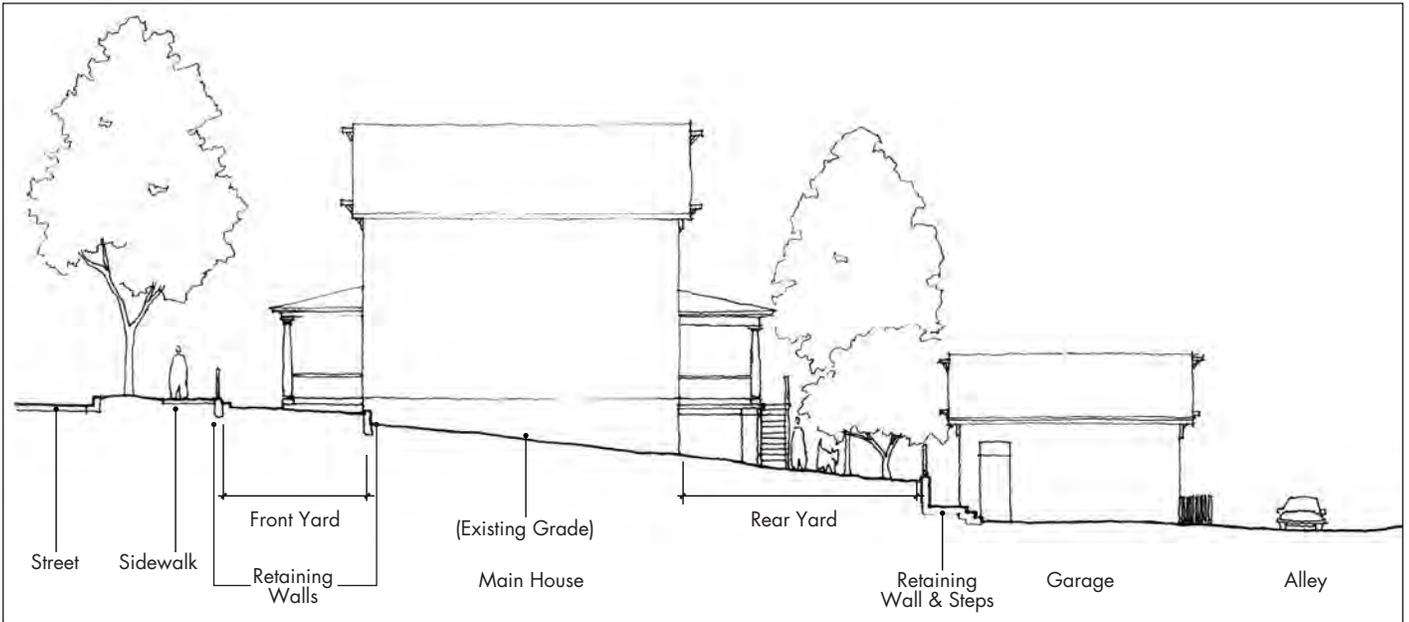
Private lots facing west may choose to orient the house so that the “active” side of the house can take advantage of the optimum solar orientation. Additional layers of deciduous trees and plants along the lot’s southern edge can also provide comfortable outdoor spaces in the summer months while maximizing warming of the interior during the winter.



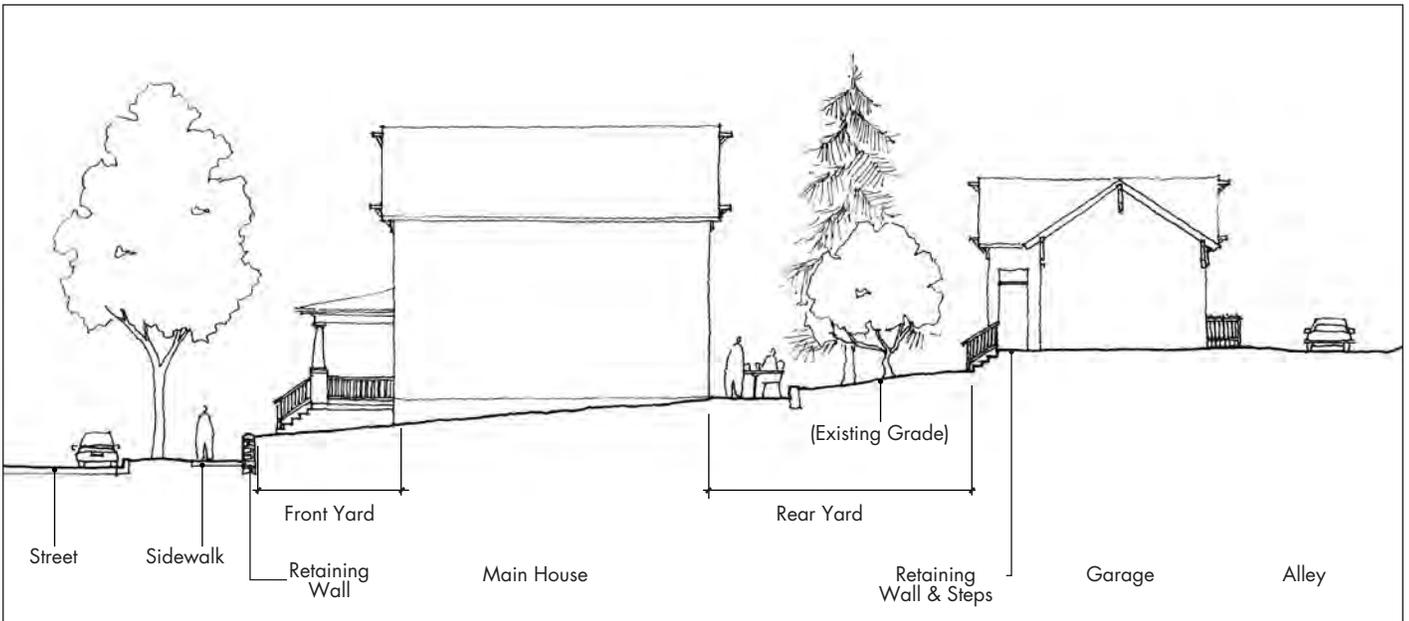
North-Facing Lots

Private lots facing north can orient rear-yard areas to take advantage of the strong southern exposure to the rear. Front yard spaces may utilize more sparse planting to allow northern sun to penetrate the front of the house, particularly during the colder months of the year. The planting of deciduous trees on the northern and southern edges can also ensure the passage of sunlight when most necessary.





Typical "Downhill" Lot



Typical "Uphill" Lot

Strategies for Uphill and Downhill Lots

In order to protect the natural and aesthetic qualities of the terrain at Loma Rica Ranch, where feasible building sites will be carefully graded in order to preserve mature tree specimens where possible. The two diagrams above illustrate how partial lots may be graded with the use of small retaining walls and to preserve swaths of existing grading at front and rear yards - areas where neighborhoods may benefit most from existing planting. Drainage is a critical consideration and may limit the application of these strategies.



Appropriate front yard picket fence



Appropriate front yard picket fence



Picket fence over high stone retaining wall



Stone retaining wall at front property line



Stone retaining wall at front property line



Front yard picket fence with hedge

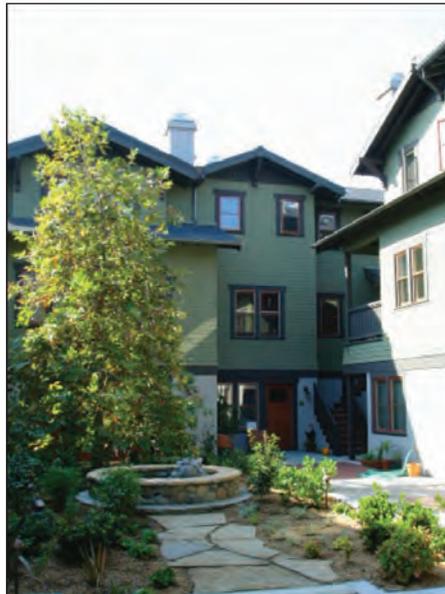
Requirements for Retaining Walls and Fences

Retaining walls shall be designed as attractive structures that are a maximum of six feet in height. If an embankment to be retained is over six feet in height, the area above six feet, shall be benched in sections that are a maximum of thirty six inches in height, and each bench is a minimum width of thirty six inches.

Fences and stone or masonry walls are encouraged to formalize and define front yard spaces in LR-NC, LR-NG, and LR-NE areas. Retaining walls utilized to shore up existing grading at front property lines can become attractive features for the neighborhood as a whole and provide a clear boundary between public and private.

Picket fences in front yard areas shall not be higher than three feet six inches measured from their outside face, and shall not have an opacity greater than 60%. Fences may be placed anywhere between 6 inches and 2 feet from the sidewalk.

Fences in rear yards may be a maximum of six feet in height, measured from the outside face of the fence. Fences in side yards may be 100% opaque, although fences facing alleys must have a 60% opacity. Rear yard fences will be placed only beyond the front and rear setbacks of the main structure.



Landscape Guidelines for Mixed-Use and Non-Residential Buildings

Development Standards in the LR-NC, LR-NG, and LR-SD zones intend to encourage well-designed, compact development that complements a high-quality network of publicly accessible parks and open spaces. Mixed-use and non-residential projects in these zones should incorporate intimate landscaped areas that provide usable spaces for residents of multi-family structures, commercial and office employees, and retail patrons. These spaces may include private rear and side yards, off-street forecourts, plazas and squares, interior courtyards, and rooftop plazas and gardens. In every case, landscape design should be compatible with each project's scale, function, and aesthetic.

Landscaped areas should utilize low-maintenance, native and adaptive drought-tolerant plantings that conserve water and facilitate the use of low-impact drip irrigation. Hardscape areas such as plazas and squares in high-traffic areas should maximize permeable surfaces when possible and utilize materials such as pervious concrete, pervious pavers, decomposed granite, and reinforced grass. Softscape areas such as courtyards and side yards should strive to incorporate a three-tiered planting system, combining grasses, ground covers, and flowers, shrubs and vines, and trees.

Street and Circulation Standards



Introduction

This chapter provides precise and detailed standards that fit the particular conditions (both natural and historic) found on the Loma Rica Ranch site.

The specific dimensions in these standards draw heavily on detailed measurements taken of historic Sierra Nevada neighborhoods, modified as needed to meet the needs of modern emergency response vehicles. They create neighborhoods that, over time, will blend seamlessly into the fabric of Grass Valley.

The circulation system at Loma Rica Ranch is provided through an interconnected network of streets. There are three or four different street types. The street types are designed to provide principle travel routes and preserve emergency response times. All streets are designed to maximize high-quality conditions for pedestrians, bicyclists, and residents.

Project and site-specific traffic evaluations/studies shall be prepared in accordance with the City's Improvement Standards for approval by the Public Works Director/City Engineer and other jurisdictional agencies as deemed appropriate. The purpose of the traffic evaluation/study will be: to accommodate phasing of improvements; to provide design details for intersections; to model proposed intersection improvements; to model any intersection interactions that are within close proximity to each other; and to evaluate the operations and safety of the proposed improvements.



Primary and Secondary Streets

The primary and secondary street network at Loma Rica Ranch consists of new major streets, such as the Sutton Way extension, and improved thoroughfares, such as Brunswick Road.

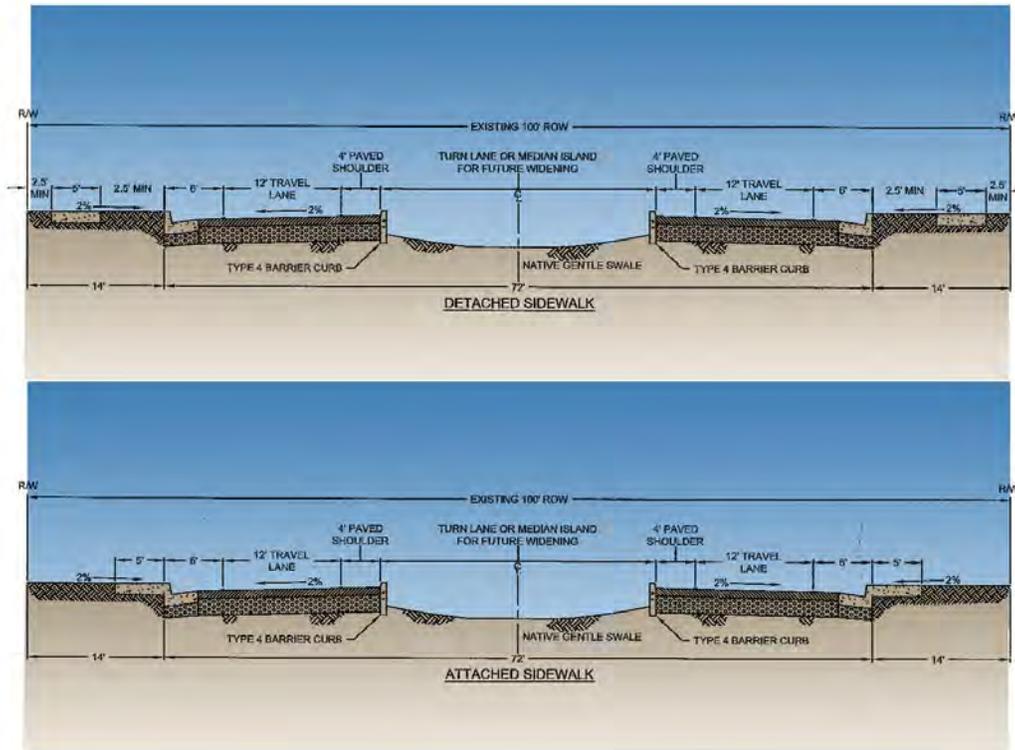
The locations and layouts of streets and intersections in the above Circulation Plan are illustrative in nature and subject to change and refinement through environmental review and approval process based on actual field conditions, City engineering requirements, emergency vehicle requirements, and other unforeseen constraints. Street alignment for the primary and secondary network may shift within the Plan, but must maintain similar levels of connectivity and alignment with all perimeter intersections. Street sections may be refined with submittal of tentative maps and improvement plans.

The above Circulation Plan identifies potential street alignments. If alternatives are selected, additional and/or revised improvements may be necessary. Refer to the following pages for additional information per street type.

Key

-  MODIFIED ARTERIAL 1 (100' ROW) OR CITY STANDARD (82' ROW)
-  MODIFIED COLLECTOR (VARIES)
-  COLLECTOR STREET (56' ROW)
-  MINOR RESIDENTIAL STREET (32'- 42' ROW)
-  PRIMARY RESIDENTIAL (40' - 50' ROW)
-  RESIDENTIAL ALLEY
-  10' CLASS 1 BIKE PATH
-  EXISTING (UNCHANGED) STREET
-  POTENTIAL PUBLIC ROW ABANDONMENT

***Amended by Resolution 2019-12, April 23, 2019**



Modified Arterials

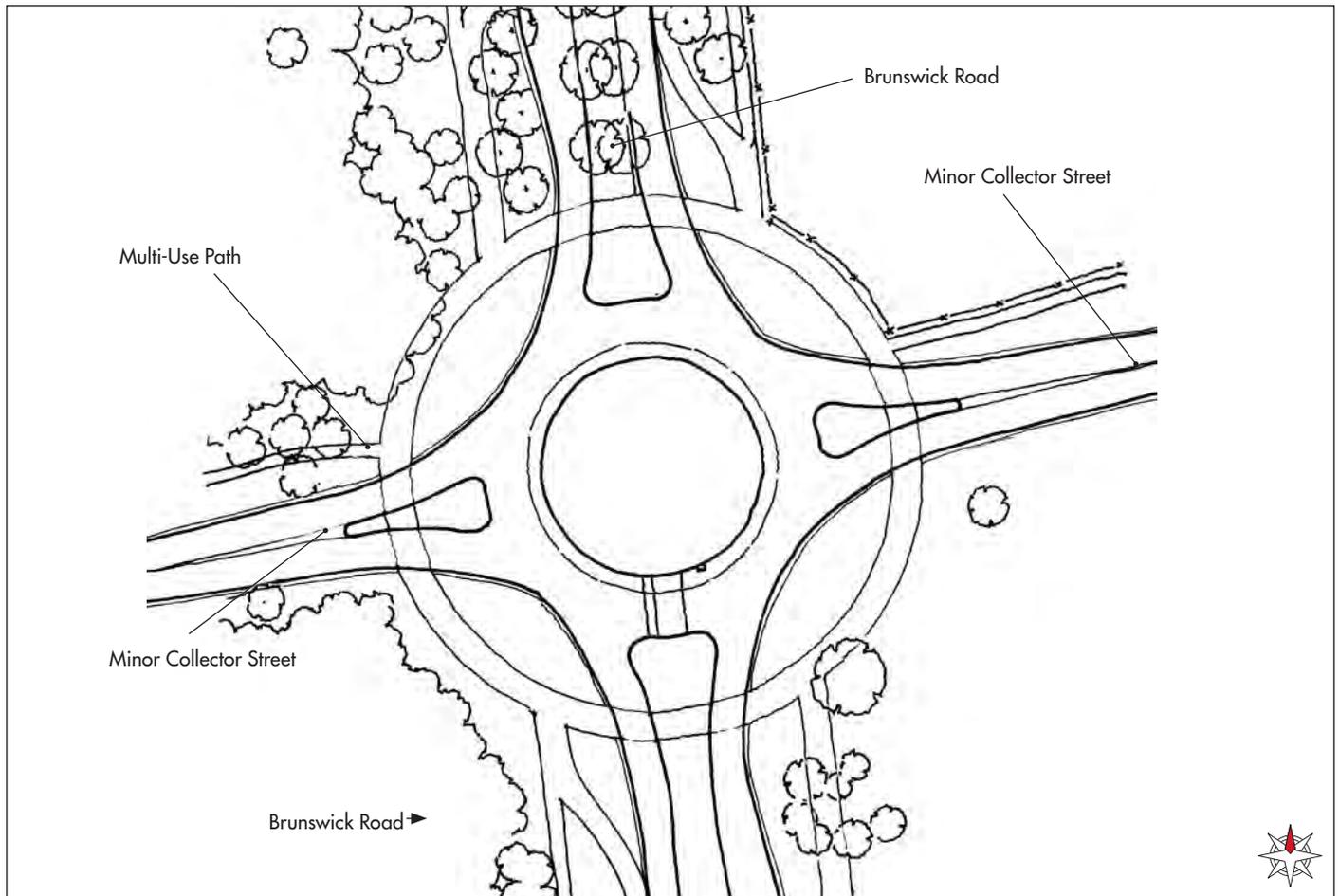
Brunswick Road and Sutton Way are arterials designed to carry relatively large through-traffic loads. Improvement of Brunswick Road and the project’s half width improvements along Sutton Way will include space for pedestrians, bicyclists and motorists.

Improvements to Brunswick Road, south of Idaho-Maryland Road may not be necessary if accessible pedestrian and bicycle improvements are provided parallel to Brunswick Road. This may be achieved by connecting Loma Rica Drive to Idaho-Maryland Road although additional environmental review may be necessary for such an alternative alignment.

In addition, if an intersection improvement is constructed at the existing intersection of Idaho-Maryland Road and Brunswick Road, additional improvements on Brunswick Road may be necessary.

Specifications

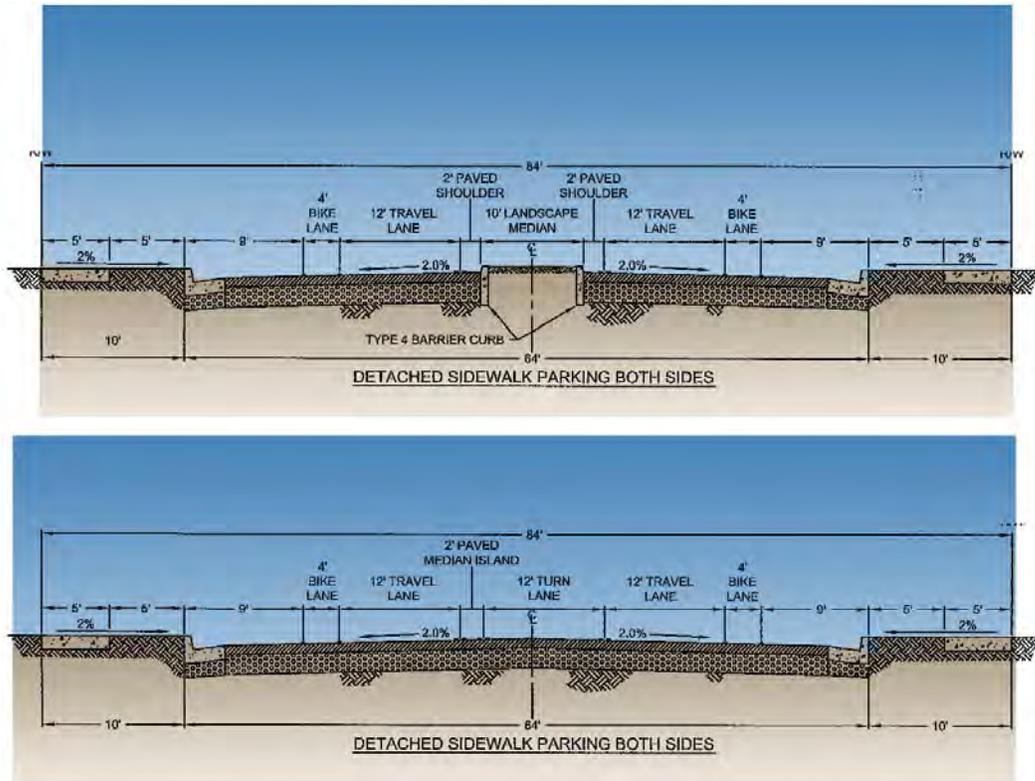
Max. Design Speed:	35 mph
R.O.W. Width:	100'
Curb-to-Curb Width:	N/A
Bicycle Lane/Shoulder:	6'
Travel Lane Width:	12'
Drainage Type:	N/A
Width of Sidewalk:	5'
Width of Planter:	2.5' min
Type of Trees:	Large
Spacing of Trees:	35' (max.)



Intersections

The Circulation Plan identifies potential street and intersection alignments. One alternative evaluated as part of this project is to construct a roundabout at the intersection of Brunswick Road and Dorsey Drive Extension. If this roundabout is constructed, collector street improvements will be required along the projects half of Idaho-Maryland Road between Sutton Way and Brunswick Road and on the section of Idaho-Maryland Road to the east of Brunswick Road. Area shown as potentially abandoned road on the Circulation Plan will not be required to provide further street improvements if roads are abandoned.

The above roundabout illustrates one way that Brunswick Road may transition successfully from an existing arterial to an in-town Arterial Street. The roundabout would require the installation of medians and other traffic calming devices.



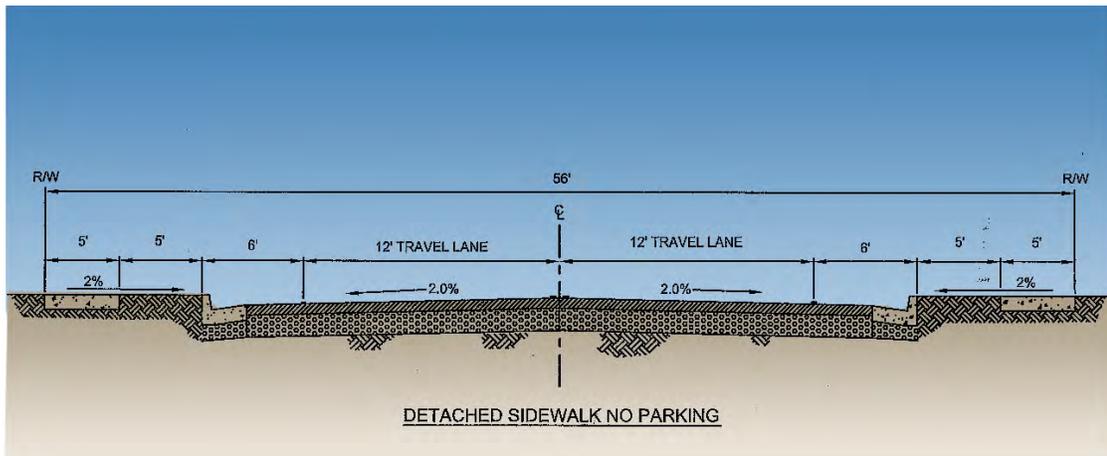
Modified Collector Street 3

The Modified Collector 3 street is a thoroughfare traversing a neighborhood center, whose function is to provide both capacity for the movement of large numbers of vehicles and creating a pleasant environment for pedestrians strolling, window shopping and outdoor dining. A Modified Collector Street Type 3 is typically lined by a continuous line of buildings: housing, offices, and/or retail on the ground floor and office or residential uses above. On-street parking, relatively low travel speeds and a heavy flow of passing traffic area all critical for the success of the street’s retail trade.

Specifications

Max. Design Speed:	25 mph
R.O.W. Width:	84'
Curb-to-Curb Width:	64'
On-Street Parking:	9'
Bicycle Lane:	4'
Travel Lane Width:	12'
Drainage Type:	Closed
Width of Sidewalk:	5'-10'
Width of Planter/Planter Box:	5' (typ.)
Type of Trees:	Medium
Spacing of Trees:	40'(max)

Notes: Center median is designed to allow for left-turn movement, and to function as a linear park with passive activities.



Modified Collector Street 4

The Modified Collector 4 street is a thoroughfare traversing industrial/commercial areas, and connecting between other main streets, whose function is to provide both capacity for the movement of large numbers of vehicles and creating a pleasant environment for pedestrians. A Modified Collector Street Type 4 is typically provides frontage for higher density buildings such as offices, shops, apartment buildings and rowhouses.

The construction of the projects half of Loma Rica Drive will include improvements for pedestrians and bicyclists.

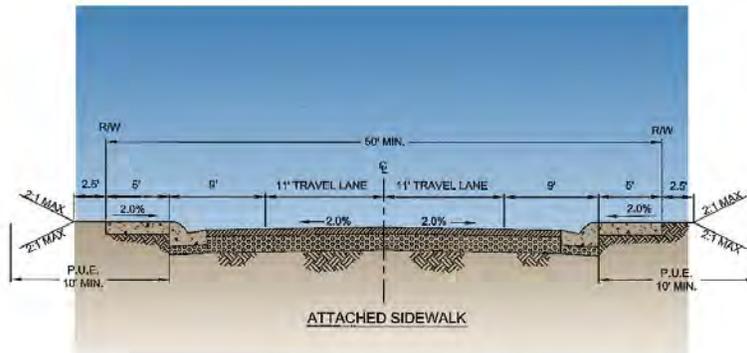
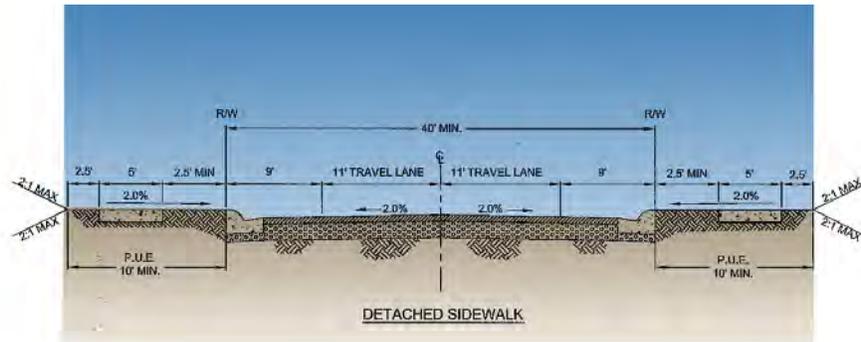
If alternative accessible pedestrian and bicycle improvements are provided parallel to Brunswick Road, improvements to Brunswick Road, south of Idaho-Maryland Road may not be necessary.

Accessible pedestrian and bicycle improvements must be constructed parallel and/or adjacent to Idaho-Maryland Road east of the Trailheads Neighborhood (i.e. Wolf Creek Trail). In addition, right of Way for a Collector Street Standard for this section of Idaho-Maryland Road must be dedicated to the City for future potential expansion and/or improvements. If these improvements are not provided, then the portion of Idaho-Maryland Road bordered by the project will be required to be constructed to Collector Street Standards. Regardless, improvements to the intersection of Idaho-Maryland Road and the connection to the Farm Neighborhood will be necessary unless the dead-end concern is addressed with alternative improvements/revisions to the street alignments.

If an intersection improvement is required at the intersection of Brunswick Road and Idaho-Maryland Road, Idaho-Maryland Road west of Brunswick Road will be required to be constructed to meet Collector Street Type 4 standards.

Specifications

Max. Design Speed:	35 mph
R.O.W. Width:	56'
Curb-to-Curb Width:	36'
On-Street Parking:	N/A
Bicycle Lane	6'
Travel Lane Width:	12'
Drainage Type:	Closed
Width of Sidewalk:	5' (typ.)
Width of Planter:	5' (min.)
Type of Trees:	Medium
Spacing of Trees:	40' (max.)

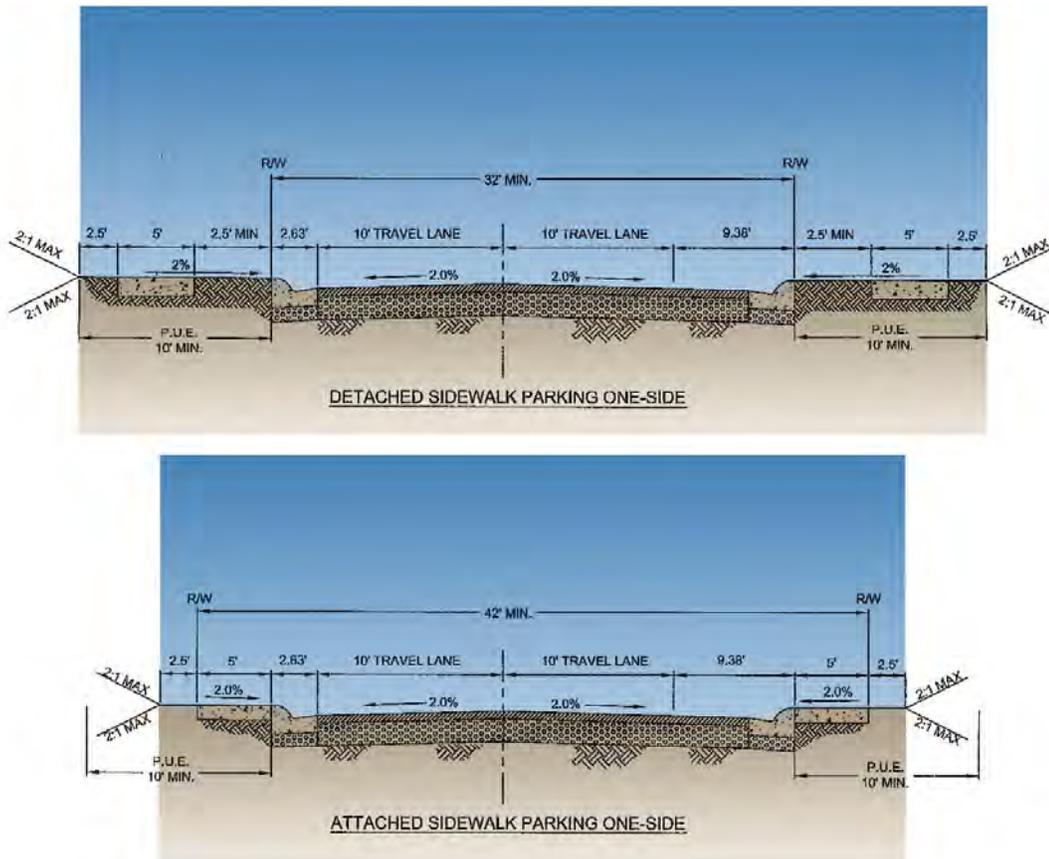


Primary Residential Street

Residential streets are used to travel within neighborhood and are designed to discourage through-traffic in residential areas. Pedestrian sidewalks have been incorporated in keeping with the walkable nature of the project.

Specifications

Max. Design Speed:	25 mph
R.O.W. Width:	40' to 50'
Curb-to-Curb Width:	40'
On-Street Parking:	9'
Travel Lane Width:	11'
Drainage Type:	Closed
Width of Sidewalk:	5'
Width of Planter:	N/A
Type of Trees:	Medium
Spacing of Trees:	40' (max.)

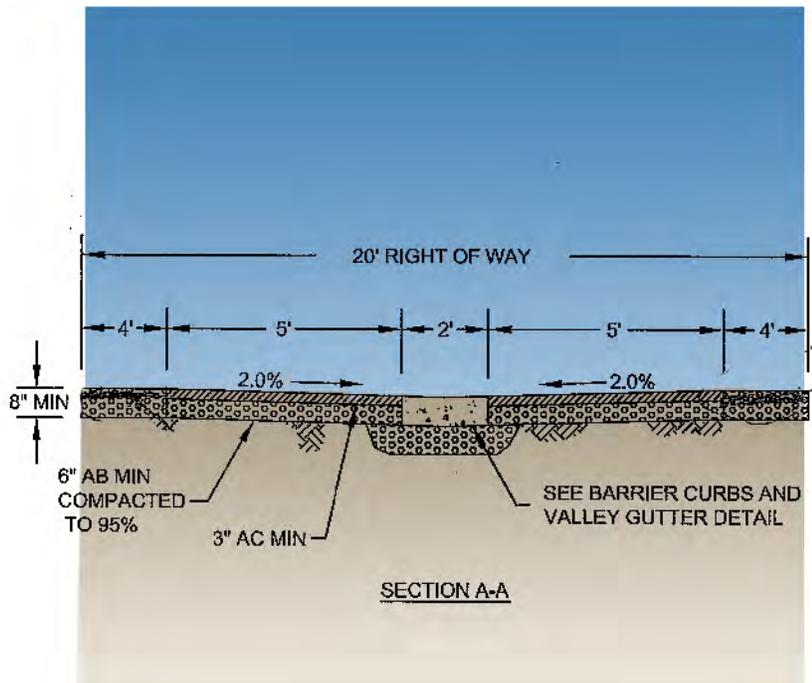


Minor Residential Street

Minor residential streets are used to travel within neighborhood and are designed to discourage through-traffic in residential areas. Pedestrian sidewalks have been incorporated in keeping with the walkable nature of the project.

Specifications

Max. Design Speed:	25 mph
R.O.W. Width:	32'-42'
Curb-to-Curb Width:	32'
On-Street Parking:	9.38'
Travel Lane Width:	10'
Drainage Type:	Closed
Width of Sidewalk:	5'
Width of Planter:	N/A'
Type of Trees:	Medium
Spacing of Trees:	N/A



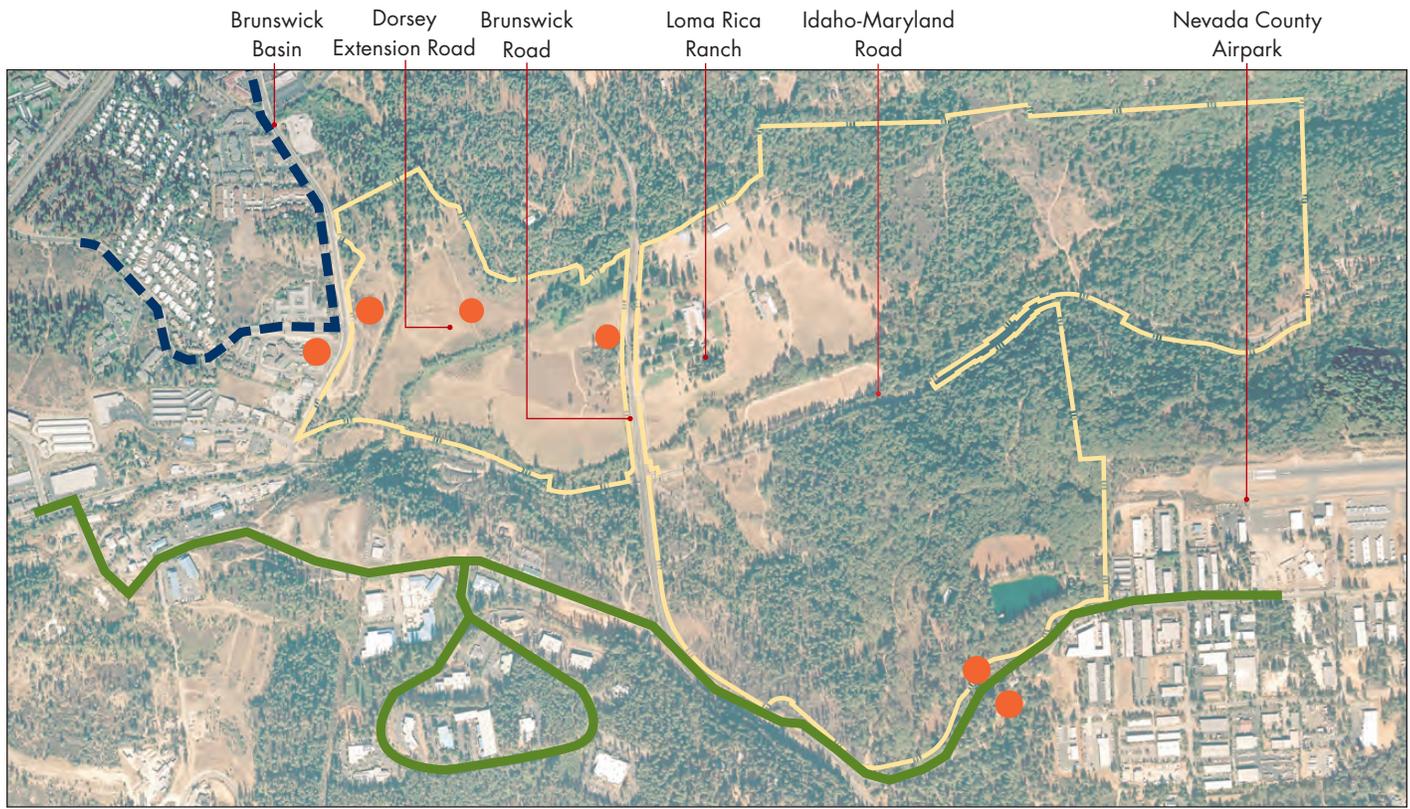
Residential Alley

This type is a vehicular access way located to the rear of a lot, providing access to parking and outbuildings as well as easements for utilities. Rear Alleys are paved to city standards.

Specifications

Max. Design Speed:	<10 mph
R.O.W. Width:	20'
Paved Width:	12'
On-Street Parking:	n/a
Travel Lane Width:	12'
Drainage Type:	Center Drain
Width of Sidewalk:	N/A
Driveway Apron:	4'
Type of Trees:	N/A
Spacing of Trees:	N/A

Notes: Fences may be placed 2' behind R.O.W.



Transit Connections

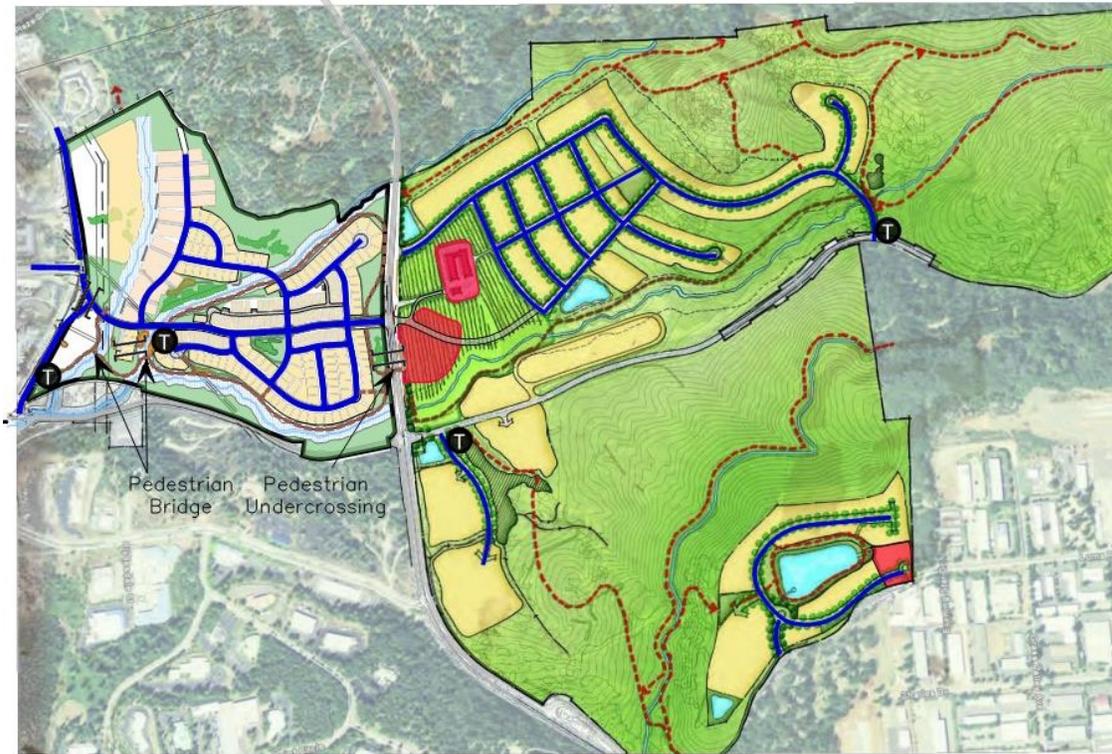
Dorsey Drive currently halts at the site’s western edge. The Grass Valley General Plan calls for Dorsey to be extended to Brunswick, serving traffic moving to and from the future Dorsey Drive interchange at Highway 49. This Plan incorporates that recommended extension. In place of the strip mall development commonly seen along higher-traffic roadways, this Plan lines the village center portions of the Dorsey Drive extension with more human-scaled mixed-use buildings, wide sidewalks and sheltering galleries.

Existing public transit routes serve Loma Rica Ranch, connecting the site to downtown Grass Valley, Brunswick Basin shopping, the airport area, Sierra College and other employment. If there is demand, Loma Rica Ranch will provide bus stops at the Neighborhood Center and possibly at additional locations depending on future need. It is the goal of the Loma Rica Ranch development to have bus stops within a five-minute walk of Loma Rica Ranch neighborhood centers.

The Loma Rica Ranch Specific Plan proposes to add bus stops along existing public transit routes. Bus stops within the site will also be added as public transit evolves during project buildout. The placement of new bus stop structures will be coordinated with the Gold Country Stage bus service.

Key - Existing Transit Routes

- Route 4
- Route 8
- Proposed Bus Stops



Pedestrian Circulation

In addition to sidewalks along streets, passages between buildings will be provided to create pedestrian connections. Trails and paths will also provide supplementary access and circulation for both pedestrians and bicyclists. The above map illustrates a potential pedestrian network of sidewalks, trails, and paths. The locations of sidewalks will be tied to the position of their accompanying streets. The locations of trails and paths are subject to change and refinement through the subdivision process based on actual field conditions.

Trails & Paths

Trails are normally unpaved only with informal, pervious surfaces (such as crushed stone) or left as earth, and may be as narrow as three to four feet. Trails will usually connect directly with the sidewalk network at the urban edge or with paths. Paths are paved for all-weather use by bicyclists and pedestrians. When intended for frequent use by cyclists as well as pedestrians, paths will be a minimum of 10' in width. Paths will also connect directly with the sidewalk network at the urban edge. Individual neighborhood shall provide pedestrian access to the path and trail system.

Passages

Passages provide pedestrian connections between buildings. They will provide shortcuts through longer blocks and connect rear parking areas with street frontages. Passages may be roofed over and lined by shop fronts. Their exact locations will be determined through the subdivision and building permit process.

Key

- Sidewalks
- - - Proposed Trails
- - - Proposed Paths
- Potential Trailhead Parking Area
- Pedestrian Trail Bridge Crossings

Note: Paths are paved
Trails are unpaved.

Additional information on the planned network of trails and paths at Loma Rica Ranch may be found in Chapter 5: Open Space, Conservation and Cultural Assets

***Amended by Resolution 2019-12, April 23, 2019**



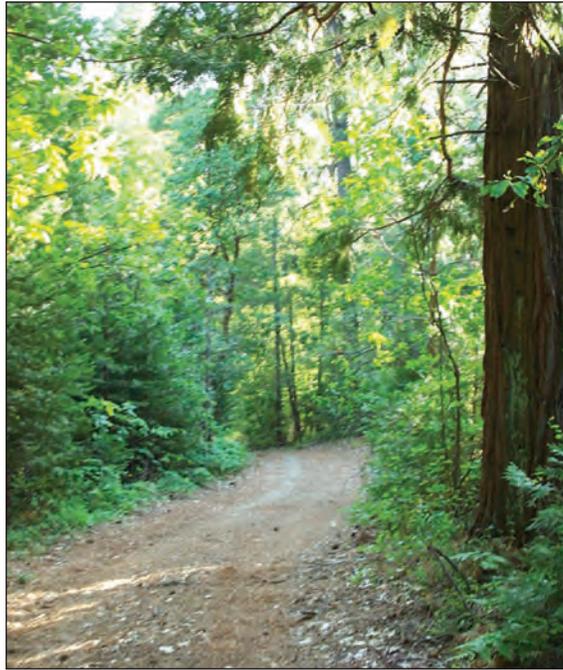
Bicycle Circulation

On-road as well as off-road bicycle facilities are provided throughout the plan, affording bicyclists with a variety of route options. Bicycle lanes are provided on all Arterial and Collector roads providing an alternative mode of travel. Internal on-road bicycle circulation is accommodated by keeping traffic at low speeds on all streets and providing quiet and connected side streets. Paved multi-use paths provide for recreational cycling and additional transportation options within the site, with a connection to the proposed Wolf Creek Parkway in Grass Valley.

Key

- Proposed Principal Bicycle Path
- Proposed Bicycle Lanes

***Amended by Resolution 2019-12, April 23, 2019**



Introduction

This chapter outlines Loma Rica’s natural amenities and cultural assets including its creeks and riparian corridors, many acres of open space, trail system, and neighborhood parks. The site’s cultural assets include Mac Boyle Lake, the Ranch center, and a series of artifacts left by indigenous Californians.

This chapter presents management guidelines for these amenities and assets. These guidelines are based on a series of factors that ensure that cultural and recreational opportunities and resources are available at Loma Rica Ranch, and also that the natural and biological resources and amenities will be conserved and maintained in order for Loma Rica Ranch to continue as a high-quality place.

Open Space and Parks Illustrative Plan

A Conserved Open Space
 This sloped area, approximately 221.5-acre area of chaparral and yellow pine forest will remain largely conserved and undeveloped; however, several opportunities exist for trails that can traverse the area. Some underground utilities may align along the trail between the Lake Neighborhood and the Trailhead Neighborhood.

A planned formal overlook which serves as the eastern axial terminus for the Farm Neighborhood will provide for views over the surrounding valleys.

B Wolf Creek Greenway
 The Wolf Creek Greenway may constitute up to 27.7 acres of land along portions of Wolf Creek. It includes an area west of Brunswick Road oriented around paths and trails, and an area south of the Farm Neighborhood with several opportunities for recreation including picnic areas, fishing areas, trails, and paths.

C Olympia Creek Greenway
 Approximately 4.3 acres of land adjacent to Olympia Creek can be restored to create a greenway that passes through the Creeks Neighborhood. This trail and path system will benefit from and connect to the adjacent Olympia Lake site to the north as well as provide a “front door” park address for residents and workers of the surrounding neighborhood.



The Parks and Open Space Illustrative Plan is intended to demonstrate one potential way in which the ± 310 acres of open space at Loma Rica Ranch may be implemented. The locations and layouts of streets in the above plan are illustrative in nature and

subject to change and refinement through the subdivision process based on actual field conditions and other unforeseen constraints. Each of the parks and open spaces may actually contain different natural habitats.

D Pocket Parks
 Several opportunities exist for small “pocket parks” in the various planned neighborhoods at Loma Rica Ranch.

These include a series of small parks along an urban portion of White-Water Creek, and urban “plaza” parks at the heart of the neighborhoods.

Parks located within Loma Rica Ranch neighborhoods include formal linear green, children’s playgrounds, and picnicking areas.

Parks located at the edges of Loma Rica Ranch neighborhoods provide additional opportunities for active and passive open space in a more rural setting.

E Loma Rica Ranch Organic Farm
 This area is described in Chapter 3.

F Mac Boyle Lake
 The Mac Boyle Lake will be preserved as a neighborhood amenity.

Legend	
A	Conserved Open Space Wolf Creek Greenway
B	Wolf Creek Greenway
C	Olympia Creek Greenway
D	Pocket Parks
E	Loma Rica Ranch Organic Farm
F	Loma Rica Mac Boyle Lake
T	Potential Trailhead Parking Area
	Trails
	Paths
	Wetland Areas
	Development Areas
	Pedestrian Trail Bridge Crossings

***Amended by Resolution 2019-12, April 23, 2019**

Creeks and Wetlands



Loma Rica Creeks and Wetlands

Some of Loma Rica's most beautiful amenities are its three creeks. Wolf Creek, Whitewater Creek and Olympia Creek. In addition there is a series of irrigation canals, ground water seeps and a few clusters of wetlands. Wolf Creek runs from east to west, along the central portion of the site, roughly parallel to Idaho Maryland Road. Olympia and White Water Creeks enter the northwest sector from the north and northeast and flow to a junction with Wolf Creek at the southwest corner of this sector. Along a large portion of Wolf Creek directly to the east and west of Brunswick Road and at the junction of the three creeks in the site's southwest corner, a flood plain is present, reaching into the western section of the property.

These creeks will be protected and conserved. All roads crossing creeks are expected to span the creeks and not require a California Department of Fish And Game streambed alteration permit. Where feasible, restoration of existing eroded areas will occur using appropriate methods and native materials. Generally, limited development and infrastructure work is envisioned for these areas, consisting mostly of trails. The creeks will remain largely protected by locating storm water basins, roads, and multi-use paths on their periphery. Road crossings, trails, trail crossings, drainage facilities, and utility crossings in the LRRSP are allowed within the city's waterway setback.

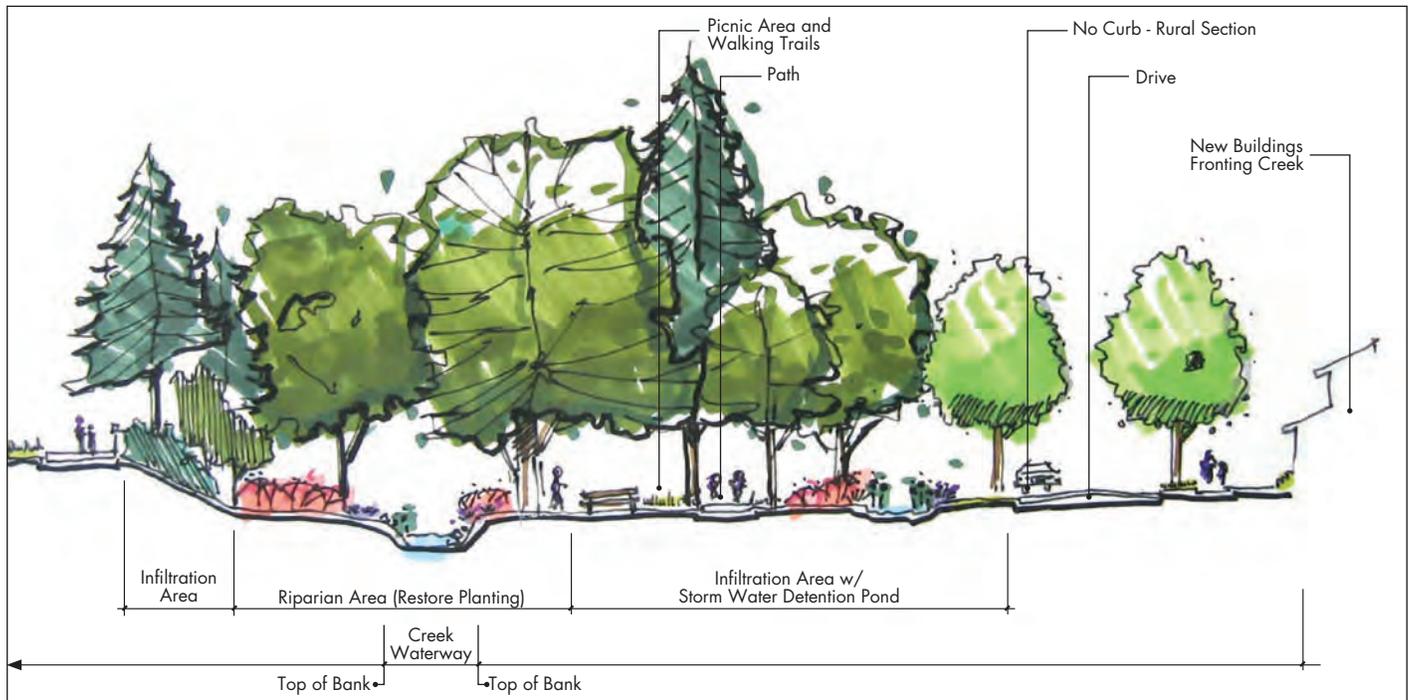
The riparian corridors will have a much more intimate relationship to the proposed neighborhoods, with community trails, paths and recreational facilities allowing for greater public access. Grading along the creeks will be kept to a minimum, as the layout and design of the neighborhoods, roadways, and trails take advantage of the existing grades both to provide visual interest and to determine the locations appropriate for development and human activities.

The Loma Rica Development intends to not disturb any jurisdictional wetlands nor alter any streambeds.



Management Guidelines and Standards

- Watercourse setback requirements for all building structures and roads shall be minimum 50 feet from the top of bank of any linear water features on the property.
- For non-linear wetlands and waters subject to US Army Corps of Engineers jurisdiction, setback requirements for all building structures and roads shall be minimum 25 feet from such waters.
- The above setback requirements shall supersede the creek setback requirements set forth in Section 17.50.040.A of the City's Development Code. Road crossings, trails and related facilities, underground infrastructure, landscaping features and water-dependent structures shall not be subject to these setback requirements.
- The review authority may grant an exception to these setback requirements on a case-by-case basis if it can be shown that the encroachment within the setback area will provide long-term protection of water quality. An application for such exception shall include a Resource Management Plan prepared by a qualified biologist or botanist. The Resource Management Plan shall include measures that will minimize impacts to the watercourse and enhance runoff filtration. These measures could include: enhancement and/or restoration of the riparian vegetation area; removal of non-native vegetation; decompaction of soils and/or incorporation of organic material to improve runoff filtration; incorporation of bioswales in drainage plans to filter parking areas; and incorporation of other Best Management Practices.
- Native vegetation shall be enhanced and the size of the vegetated corridor shall be increased with new plantings to stabilize stream banks and enhance habitat.
- Planting shall be designed with a maintenance-free approach that will allow for natural succession in riparian areas with seasonal management of invasive species: Himalayan Blackberry, for example, shall be cut while California Grape shall be allowed to flourish.



Illustrative Site Section

- Where feasible selective areas of stream bank erosion and creek crossings shall be restored with native materials using best practices.
- Interpretive signage should be provided to highlight area management practices.
- Trail bridge crossings will be strategically located to minimize impacts to significant native vegetation resources. Crossings will not encroach into streambed below top of bank.
- The existing riparian canopy should be augmented with new native trees in large clusters.
- Drainage from impervious surfaces shall be routed through the detention basins and allowed to gradually infiltrate and sheet flow to creeks.
- Plant selection will include primarily native species with careful selection of non-native plants.
- The creation of an overhead canopy should be emphasized through appropriate tree and plant selection.
- Sections of creeks that run through more urban environments such as Whitewater Creek in the village center will provide for human interaction with the creek.
- Interpretive signage along paths where appropriate will highlight sensitive natural resource sections of creeks.
- Where feasible areas of stream bank erosion should be restored using appropriate biological methods and native materials without triggering the need for a streambed alteration agreement with the California Department of Fish and Game.
- Creekside pathways will meander further and closer to the creeks as appropriate while respecting creek natural resources.
- Existing ranch roads will be utilized for path locations where feasible and appropriate.
- Development shall be oriented to creeks or waterways, whenever feasible, particularly for the "Neighborhood Center" District.

Open Space, Parks, and Trails and Paths



Open Space

The development of Loma Rica Ranch can have a positive impact on the open space amenities of the region. Open space at Loma Rica Ranch could connect to the region's other large open spaces, such as Condon Park and the Empire Mine State Historic Park, through the City's proposed and existing trails network.

An extensive network of open spaces is planned that recognizes the natural qualities of the site while providing recreational opportunities. The open space will be serviced by an interconnected network of trails and paths for pedestrians and bicyclists alike, providing open space amenities for residents of both Loma Rica Ranch and all of Grass Valley. At heart of this network is Wolf Creek, which runs east-west through the site for approximately 1.25 miles and presents high quality recreational opportunities.

Most of the open woodlands, forested hillsides, and portions of the serpentine soils area will be protected and conserved. The Grass Valley region has a generally high potential for wildland fires of devastating intensity. Loma Rica Ranch has the advantage of being planned with extensive open space areas where significant fuel reduction and management can occur to separate and minimize the effect of wild land fire within the Specific Plan area.

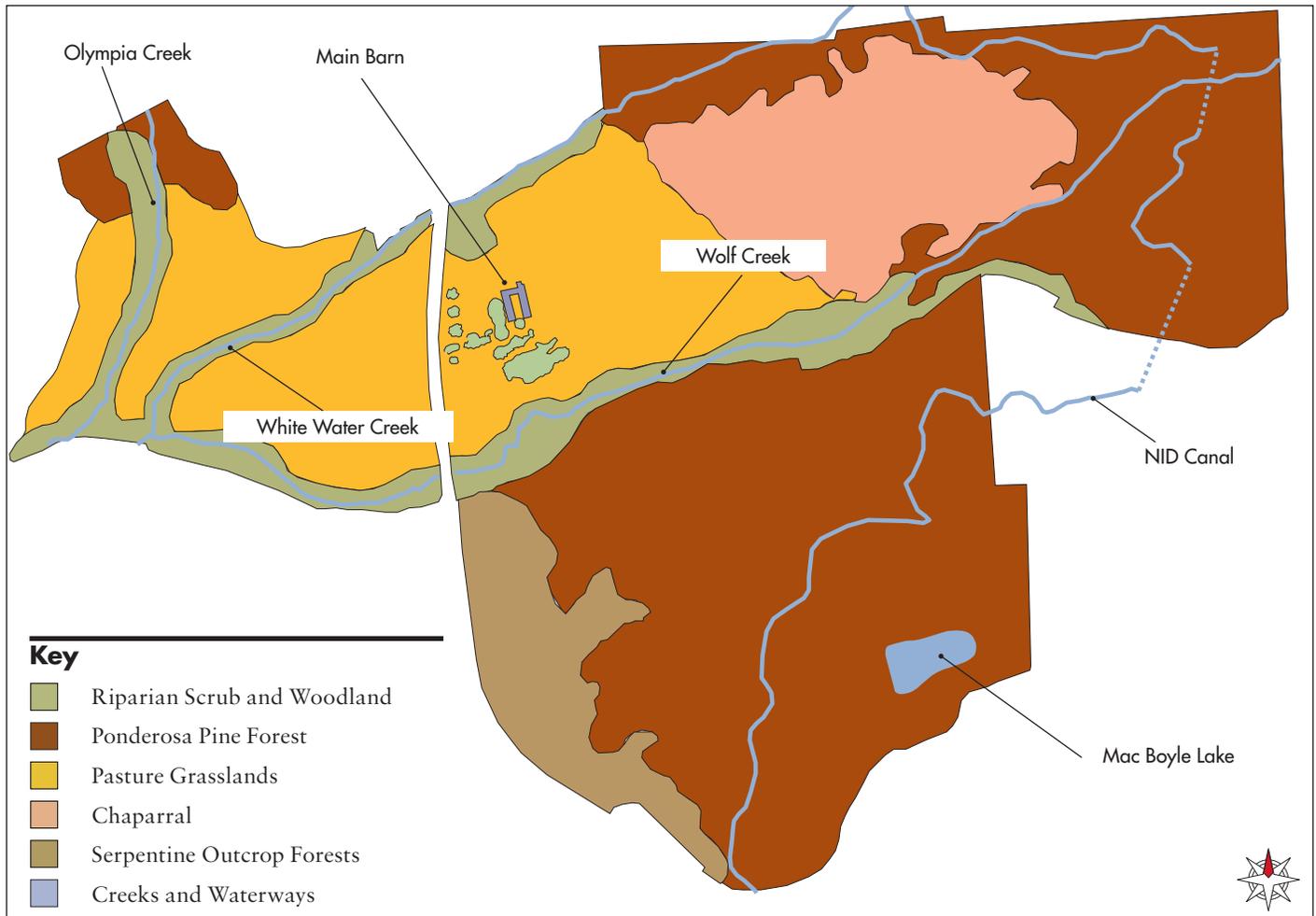
Generally, limited development and infrastructure work is envisioned for these areas, and they will remain largely protected.

Beyond these open spaces, small neighborhood parks will provide "created natural spaces" for kids and adults alike to relax and play.

Small open space areas adjacent to public parks and open to the public may be maintained by the City. It is expected that all other open space areas will be maintained by private property owners and/or entities.



Conceptual Imagery: Open Space, Parks, and Trails



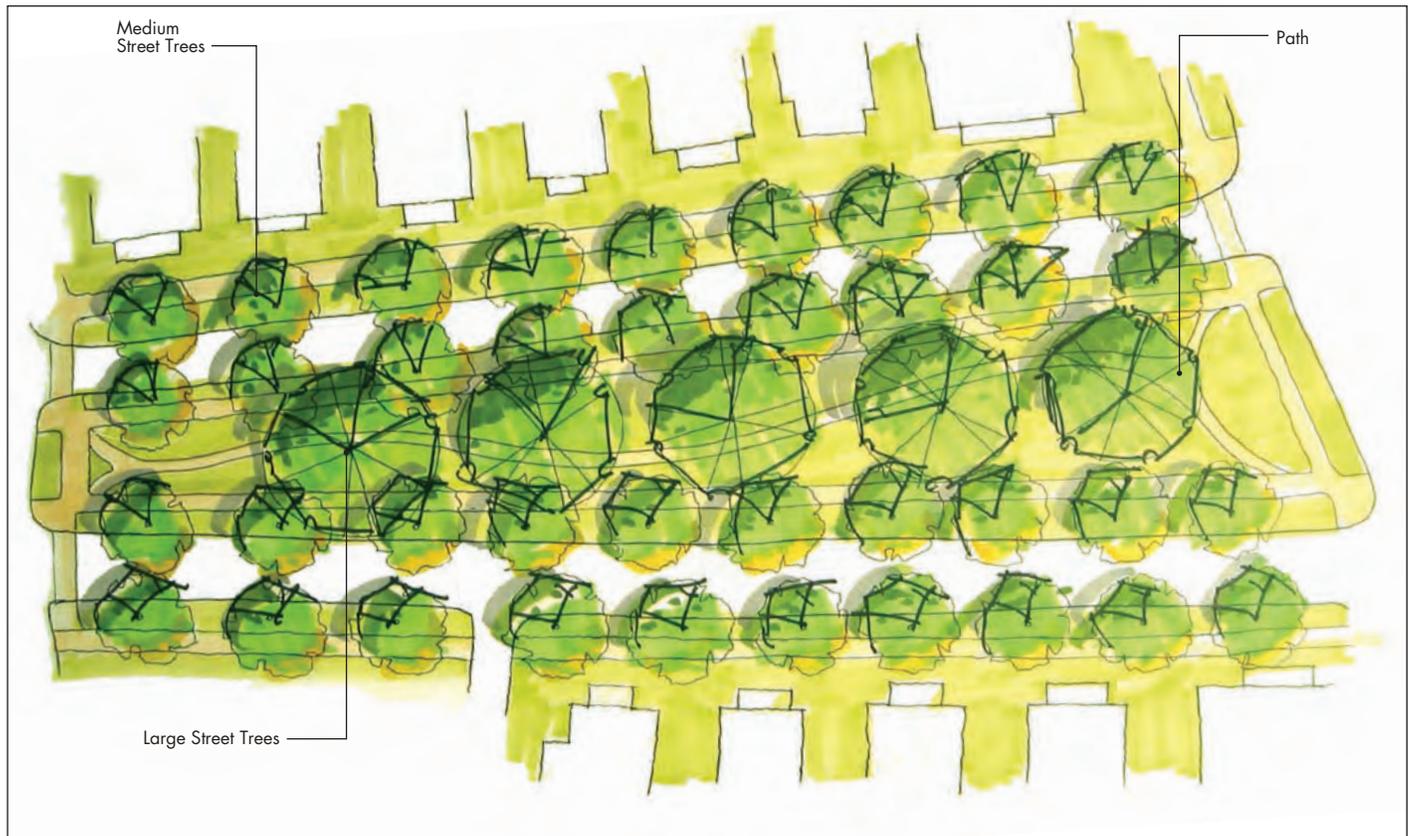
Site Plant Communities

The site’s natural features include a variety of distinct plant communities, several stands of mature trees, and a variety of creeks and waterways that flow through the site. These natural features have been carefully studied to allow for their optimum conservation and integration where possible into the design for Loma Rica Ranch.

Approximately one half of the project area is covered by a mixed conifer forest composed of yellow and sugar pines, incense cedars, black oaks, Douglas firs, Pacific madrones, and broad-leaf maples. It is a second growth stand believed to be approximately 70-100 years old. As well, a concentrated cluster of oaks and cedars remains around the ranch house and barns. Other notable plant communities exist on site, including a large stand of chaparral, groupings of mountain misery and white-leafed manzanita along the site’s major south-facing slope, and an area of serpentine outcrop. The banks of Wolf Creek, Olympia Creek, and White Water Creek comprise areas of riparian scrub and woodland, consisting primarily of white alder, willow, and western raspberry specimens.

The soils within the Loma Rica Ranch Specific Plan area are comprised primarily of three types: alluvium, colluvium, and artificial deposits.

Parks



Illustrative Plan of a Linear Green

Linear Parks

This greenway could be wide enough in sections to accommodate informal playing and pathways to formal outdoor activities such as an outdoor amphitheater or seating areas for restaurants. Linear Parks can be in the form of a pathway, median or linear greenway along natural open space corridors within a neighborhood.

The linear greenway typically ranges in width from a minimum of 20 feet to approximately 50 feet. They contain landscaping features and trails connection that will provide linkage to neighborhoods.

Park Amenities in the Linear Park adjacent to Wolf Creek

- a. Half Court Basketball Court
- b. Passive Open Space / Lawn Area
- c. Park Benches
- d. Picnic Table / BBQ Grill
- e. Covered Trellis
- f. Restroom Facility and Drinking Fountain

Optional Facilities

- g. Tennis Courts
- h. Tot Lots



Illustrative Plan of a Park in a Neighborhood Edge

Neighborhood Pocket Parks

Pocket parks are located in the heart of residential neighborhoods. They serve as the focal community space and create an identity and sense of place within the neighborhoods.

Pocket parks typically range in size from 0.25 to 1 acre and are less formal landscaped spaces large enough to accommodate a variety of passive to formal active uses, including tot lots.

All parks, regardless of types, will be developed concurrently with the occupancy of the adjacent neighborhood. The Loma Rica project as a whole provides 12.5 acres of developed parkland which does not include the 221.5 acres of open space. The City of Grass Valley requires 10.3 acres of developed parkland for a project with the number of single family and multi-family units that Loma Rica proposes.

Park Amenities in Pocket Parks:

Creek Neighborhood

1. Pocket Park by Basin
 - a. Passive Open Space/Lawn Area
 - b. Park Benches

Farm Neighborhood

1. Park in Upper Hillside Neighborhood
 - a. Tot Lot
 - b. Park Benches
 - c. Picnic Table/Lawn Area
 - d. Passive Open Space/Lawn Area
2. Pocket Park by Basin
 - a. Passive Open Space/Lawn Area
 - b. Park Benches

Lake Neighborhood

1. Pocket Parks
 - a. Tot Lot
 - b. Park Benches
 - c. Picnic Table/Lawn Area
 - d. Passive Open Space/Lawn Area
 - e. Restroom Facility and Drinking Fountain
 - f. Covered Trellis

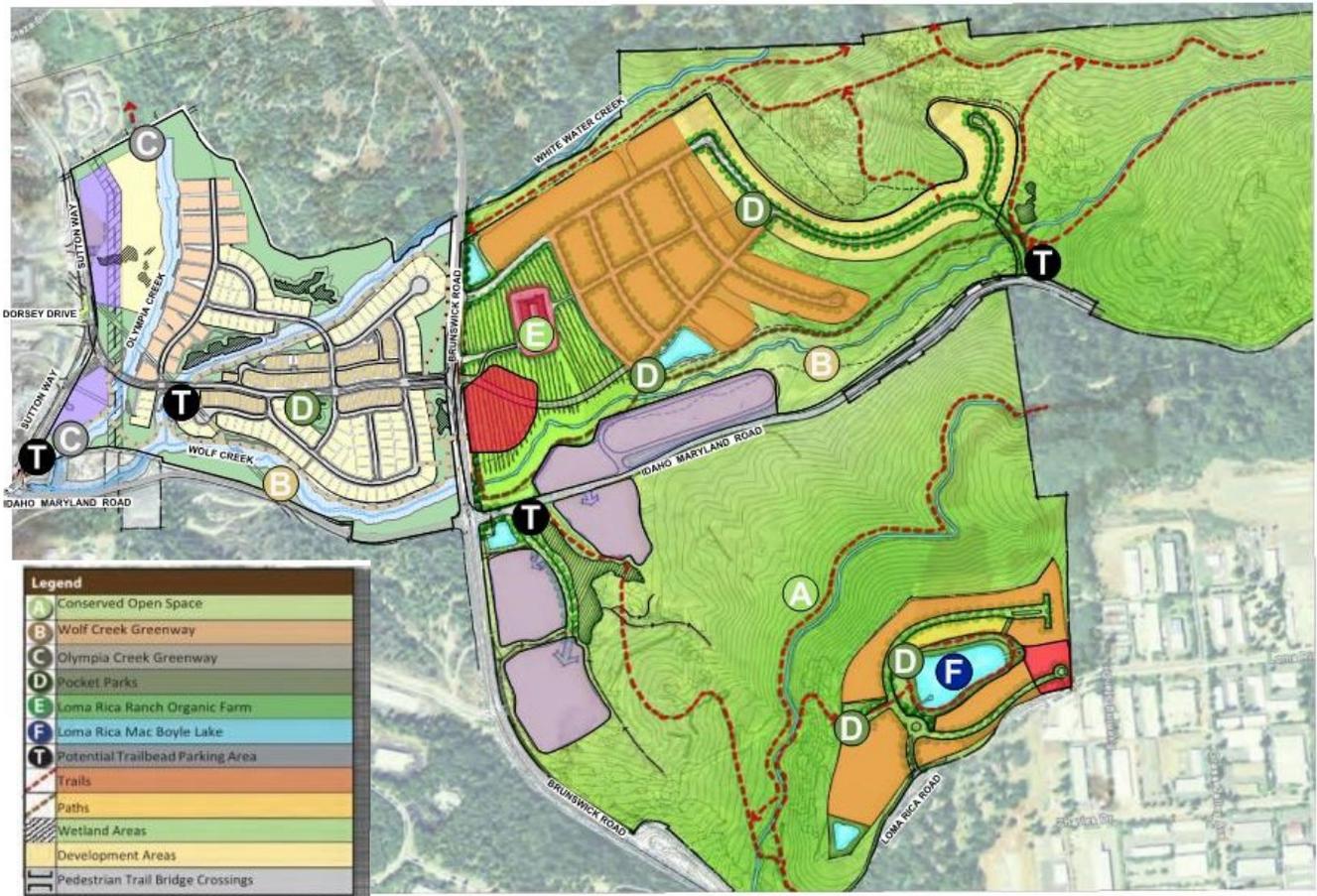
Sports Field

Reserve adequate land in the Farm Neighborhood or on another on- or off-site location approved by the City for future use as an active sports field. The sports field shall include a single field of sufficient size to accommodate a softball, baseball or soccer field, parking, restroom or other amenities. The dedication of this property shall be part of LRRSP parkland dedication requirement applied to this project. A future dedication of this park area would require the 2.0 +/- acre pocket park within the Farm Neighborhood to be deleted or further minimized in size and all areas proposed for development shall not be impacted or the land use mix to be further reduced.

The terms relative to the reservation, dedication and potential improvement of this park area shall be addressed as part of the Development Agreement. The Development Agreement shall include:

- Terms on timing and structure of dedication.
- Terms on acceptance of dedication by City.
- Terms for release of requirement by the City (if off-site location found).
- Terms for improvement of site and /or extension of infrastructure.

Trails and Paths



The Trails Illustrative Plan details the existing and potential trails that may be built within the site's open space.

Trails and Paths

Loma Rica provides a variety of trails for both recreation and alternative transportation. The site is planned to encourage residents to walk or ride their bicycles as means for moving around Loma Rica. There will be a variety of trails and paths that allow for bicycles and pedestrians as well as small electric vehicles. Alternative transportation is encouraged by the high level of connectivity in the street network and trails and paths on the site. Main and peripheral trails will join to the Nevada County Land Trust trail that seeks to eventually connect all of Grass Valley. All tails and paths shall be developed concurrently with the occupancy of the adjacent neighborhood.



*Amended by Resolution 2019-12, April 23, 2019

Cultural Assets



Cultural Assets

Existing assets include the prominent Ranch Center, the Mac Boyle Lake and Fountain complex and a series of historically significant artifacts left by indigenous Californians.

The Ranch Center is positioned atop a small knoll overlooking Brunswick Road in the northeast sector. Until the early 1980's, this site was home to a nationally recognized thoroughbred racehorse training farm. Several buildings remain on the ranch, including a one-story ranch house (the previous home of the ranch manager), stable, and several single-story, wood frame outbuildings. The ranch house and main barn are of regional interest, despite their marginal condition. This project intends to rehabilitate these structures for adaptive reuse, while maintaining their inherent value.

Other structures are in poor condition. Many of these structures will be partially integrated into Loma Rica Ranch's new neighborhoods, allowing for a continued understanding of the character of the Ranch.

Stables, storage sheds and equipment shelters are present to the northeast. South of Wolf Creek, there is an oval racetrack, accessible from a gated drive off of Idaho Maryland Road.



Aerial view of the Ranch Center

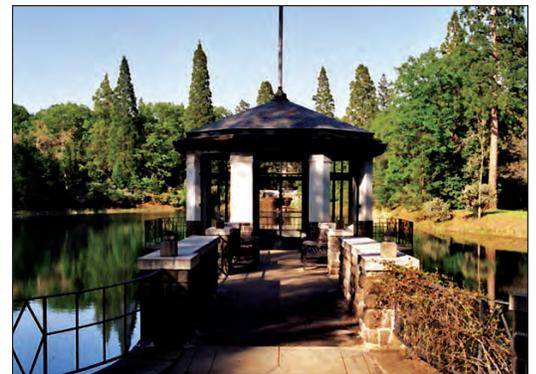


Caretaker's house

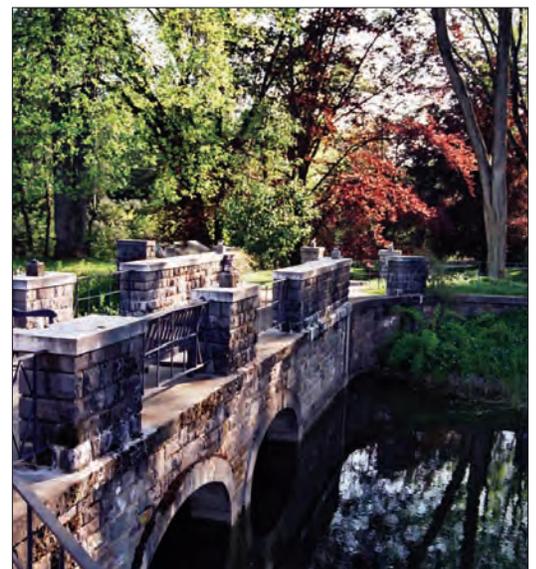
Mac Boyle Lake is located in the site's southeast sector, accessible from Loma Rica Drive. The Lake and an iconic fountain were the beginnings of an estate by a Grass Valley tycoon, Errol MacBoyle. This artificial lake was built to serve as a water supply reservoir for the Ranch. It is located in a glade in the southeast corner of the southeast sector. A beautiful, triple-arch, stone bridge connecting a hexagonal gazebo over the water surface projects into the reservoir from its southwesterly corner. An outlet at the east end conducts water toward a 50-foot diameter, tiered circular fountain nearby, a copy of the 1939 Golden Gate Exposition. The reservoir is surrounded by irrigated lawns and arbors, and the reservoir's slopes have been planted with native shrubs. The Lake is currently kept at a constant water level with water purchased from the Nevada Irrigation District.

Adjacent to the Lake and fountain, MacBoyle prepared a site for his own personal mansion, which was never built. The area of flat land at the base of the ridge around the lake provides an ideal setting for a compact and vibrant development affording views of the rest of the site from several vantage points.

The site also possesses two principal sites of cultural and archaeological significance. Just west of Brunswick Road between Idaho Maryland Road and the site's northern boundary, a midden indicates the ancient presence of Native Americans in the area. In addition, a "grinding rock" is visible near the Ranch racetrack. Grinding rocks illustrate the presence of Native Americans who used bedrock as a mortar to grind acorns.



Mac Boyle Lake gazebo



Mac Boyle Lake stone bridge



Creating an Infrastructure to Support a Mix of Uses

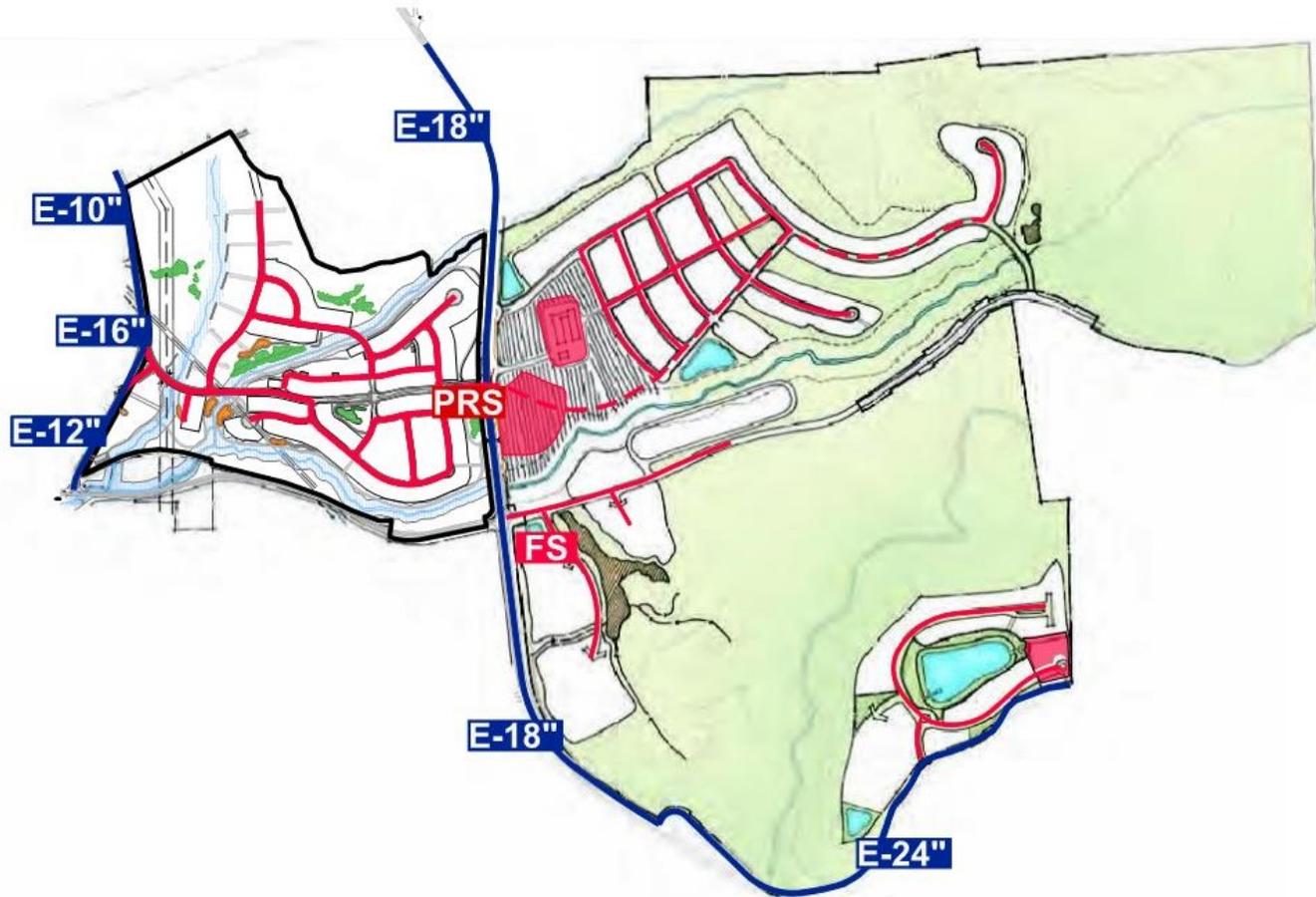
The development of Loma Rica Ranch represents a new and different approach to the design and implementation of a Special Development Area. This chapter outlines the details and guidelines of a framework of infrastructure and utilities, including water, sewer, drainage, underground utilities, landscaping, and solid waste.

Infrastructure Plan Policies

In addition, the infrastructure plans present the following objectives:

1. To provide all required infrastructure incrementally and cost effectively as development proceeds;
2. To require that development within the Specific Plan pays a fair share of costs to expand infrastructure capacity;
3. To cooperate with local agencies in accommodating infrastructure that provides excess capacity and/or regional benefit. All street sections and all construction is intended to meet the standards of the City's engineering specifications and detail.
4. Each development proposal shall, as a condition of occupancy, install the portions of infrastructure required to serve the project.
5. A developer may enter into a reimbursement agreement with the City for any portions of infrastructure that are required to be oversized for the benefit of development outside of the Specific Plan.
6. The developer shall pay school mitigation fees and any other adopted capital improvement mitigation fees.
7. Specific Plan improvement plans, including streets, walks, drainage facilities, water facilities, sewer facilities and underground utilities, must be accepted by the City and appropriate utility providers. Those utilities that are determined to be acceptable to the City or public utilities as public improvements will be conveyed to the City or public utilities.
8. All utilities shall be installed underground, except for the ordinary necessary above-ground appurtenances such as transformer boxes, electric transmission lines, lift stations, and pressure reducing stations. These should be placed with care to avoid visual prominence in residential neighborhoods while remaining accessible for repairs and servicing.
9. Street and entry treatments and other common area type improvements constructed per City Improvement Standards and when accepted by the City may be maintained by the City when funded with assessment districts or other funding mechanisms.

Infrastructure Plans



Conceptual Water Infrastructure Diagram

Water

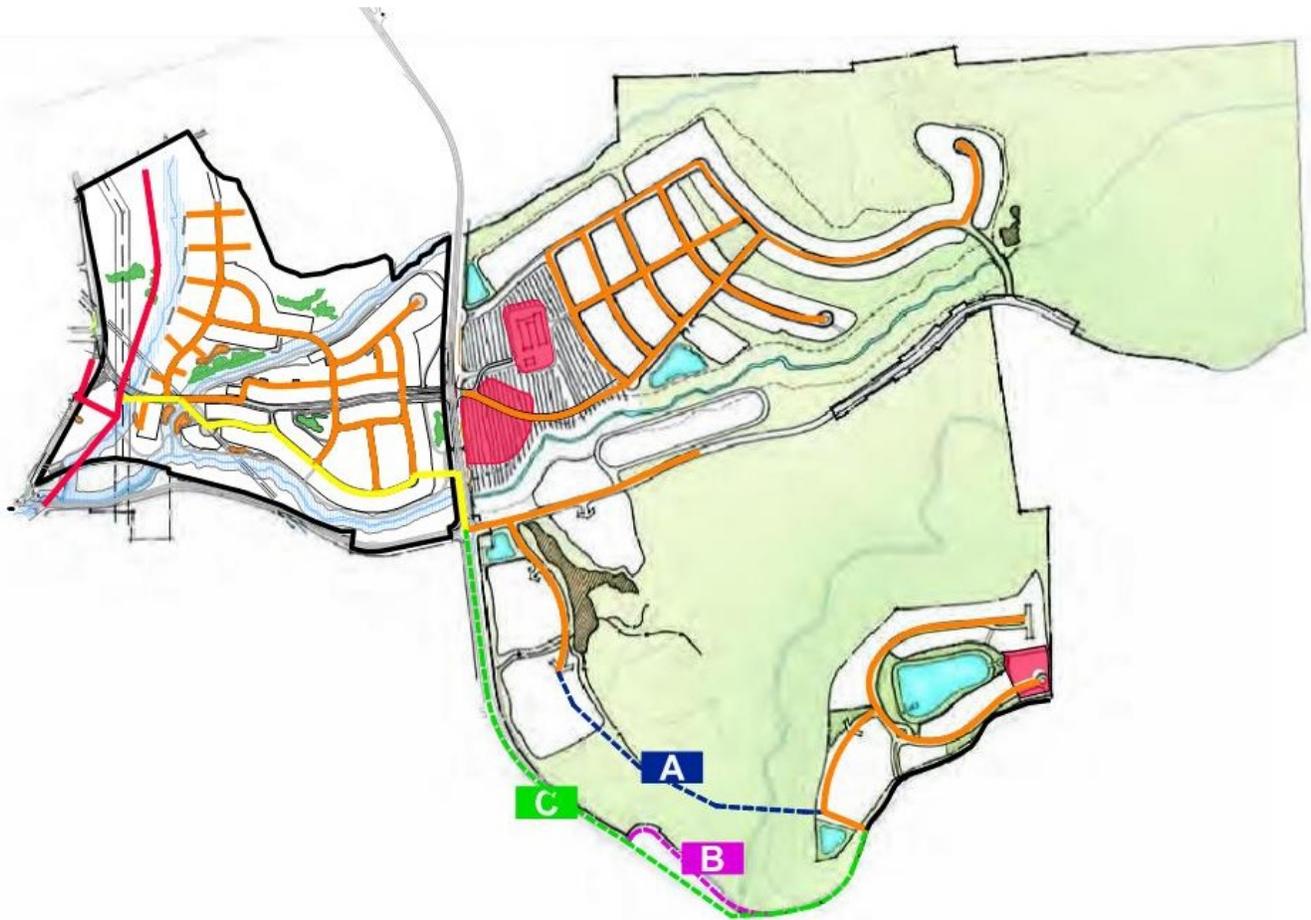
The plan area is within Nevada Irrigation District (NID).

Note: any public utility buildings shall incorporate the design themes noted in the Specific Plan.

Key

- E: Existing Water Line
- 8" Proposed Loma Rica Ranch Water Infrastructure
- - - 10" Proposed Loma Rica Ranch Water Infrastructure
- FP Existing Flow Control Station/
Pump Station Per NID Master Plan
- PRS Pressure Reducing Station

*Amended by Resolution 2019-12, April 23, 2019



Conceptual Sewer Infrastructure Diagram

Sewer

The wastewater (sewage) collection system will be expanded as required by the City to serve the Specific Plan areas. Modifications may be made as build-out occurs only as approved by the City.

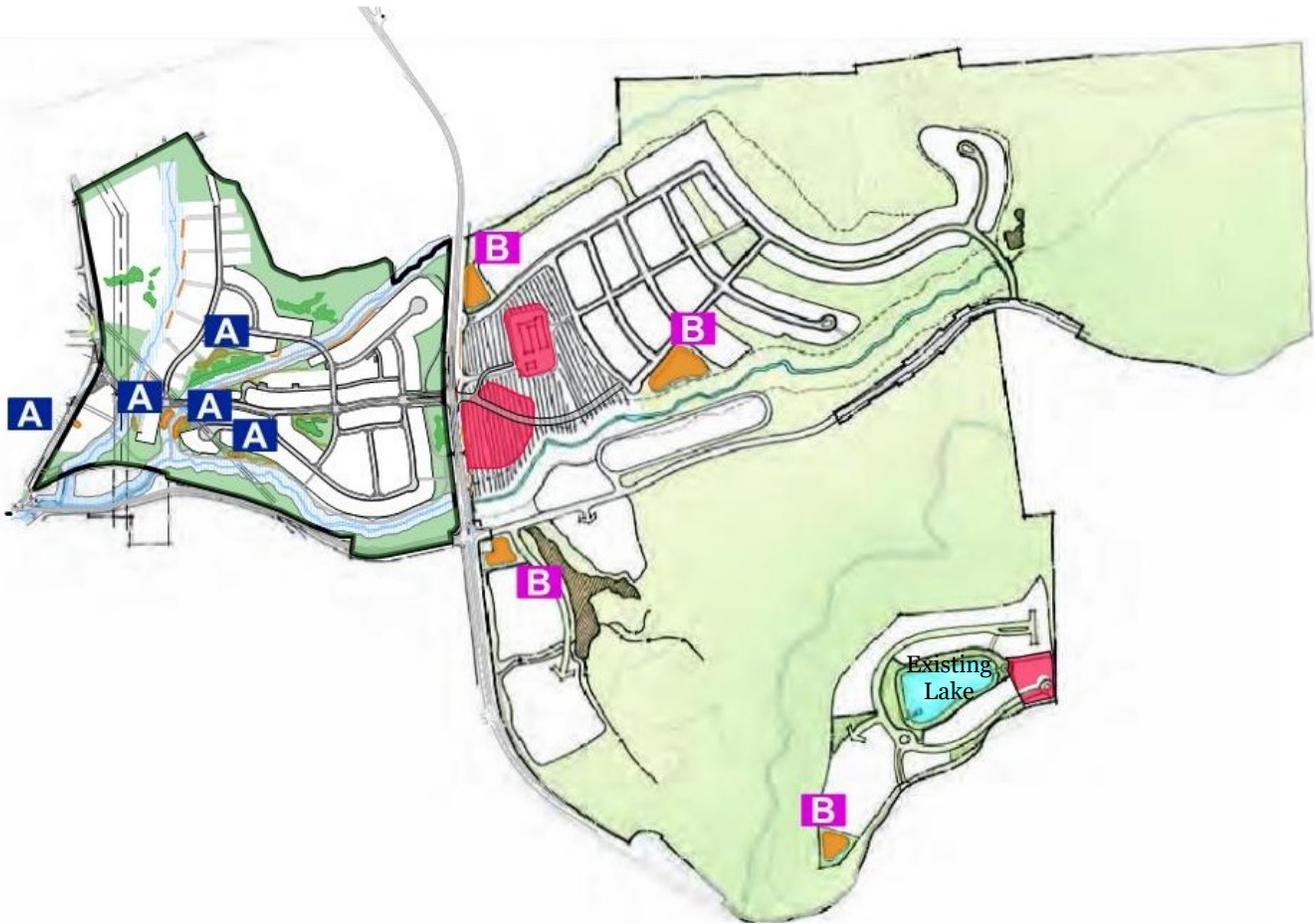
It appears that the entire parcel is capable of being served by gravity, without the use of lift stations. The final route of new collection pipes must be approved by the City of Grass Valley. As the build-out occurs, detailed improvement plans, including access to all existing and proposed sewer manholes, will be submitted to the Grass Valley City Engineer for review and acceptance. After acceptable installation with City inspection per City Standards, the City will accept the improvements and will take over ownership, operation, and maintenance of the new collection system components. The City requires a connection fee and payment of an AB 1600 development mitigation fee each time a building permit is issued.

The Project will require one section of off site sewer main (section N13-10 to M13-7) in Idaho-Maryland Road immediate east of its intersection with E. Main Street to be upgraded from a 15” to 18” diameter. Three onsite sewer main sections (S11-9 to S12-1) will need to be upgraded from a 10” to 12” diameter.

Key

- 10” Existing Sewer
- 10” Proposed Sewer
- 8” Proposed Sewer
- Alternative A Alignment
- Alternative B Alignment
- Alternative C Alignment
- Built By Others

***Amended by Resolution 2019-12, April 23, 2019**



Conceptual Drainage Infrastructure Diagram

Drainage

The master drainage system for the Specific Plan area is illustrated above. Modifications may be made to this plan as build-out occurs only as approved by the City. The drainage system would be constructed to serve the Specific Plan area.

All drainage systems will meet the storm detention requirements of the City of Grass Valley. Detention and water quality facilities are expected to be distributed throughout the project as illustrated. Detention basins will be designed to mitigate increased runoff due to development of the project site and will utilize infiltration and overland outflow for the release of storm water. Water quality ponds will be constructed to treat storm water runoff from the developed site and will be designed to meet city water quality standards.

Neighborhood drainage collection will occur by a combination of curbs, valley drains, underground pipes and natural swales, depending on specific street locations within the areas of the Regulating Plan. Neighborhood Streets located in close proximity to Neighborhood Centers, as described in Chapter 4, will typically utilize urban-style curb and gutter details and underground pipes, while those at the edges of neighborhoods will use traditional methods in concert with permeable surfaces and drainage swales.

Key

- Drainage Facilities
- A Water Quality Pond
- B Detention Basin

Note: Neighborhood drainage collection will occur by curb, valley drains, underground pipes and swales.

***Amended by Resolution 2019-12, April 23, 2019**

All detention basins will be sized based on a civil engineer's calculations and the City Engineer will review and accept the improvement plans prior to construction. Drainage facilities meeting City Improvement Standards are expected to be owned and maintained by the City of Grass Valley upon completion and acceptance. The City requires an AB 1600 development impact fee to fund future, downstream drainage improvements.

Natural Gas

Natural gas is available in certain surrounding streets, and it is proposed to be extended to Loma Rica Ranch. The overall distribution plan is expected to follow the street network as illustrated in the Specific Plan, parallel to other underground utilities. An existing 4" natural gas line runs along Sutton Way from the Brunswick Business Center and stops just before Dorsey Drive. There is also an existing 4" natural gas line that runs along Dorsey Drive towards Sutton and extends south along Sutton Way then turns right up Golden Gate Terrace. An existing 2" natural gas line runs along Whispering Pines Drive and ends at a 4" stub at Brunswick Road. Loma Rica Ranch will connect the 4" gas line along Sutton Way to extend natural gas. There is also a 4" natural gas line that currently ends at Makiah Woods on Brunswick Road; this line can be extended to provide natural gas to the Ranch Neighborhood. Pacific Gas and Electric has stated that there is sufficient natural gas capacity to service the entire buildout of Loma Rica Ranch.

Solid Waste

The County of Nevada contracts with Waste Management of Nevada County (WM) to collect trash, recyclables and yard materials from residents, apartments and businesses throughout Western Nevada County.

Nevada County Department of Transportation and Sanitation owns and operates the Transfer Stations at McCourtney Road, Washington and North San Juan. In addition, Nevada County is charged with the task of educating its residents about the benefits of recycling and overall waste reduction.



Zoning Standards

Upon adoption of the Loma Rica Ranch Specific Plan, the development standards and procedures established herein shall become the applicable zoning standards for land uses within the Loma Rica Ranch Specific Plan area.

Definition of Terms

Words, phrases and terms not specifically defined herein shall have the same definition as provided in the Grass Valley Municipal Code.

Development Code Consistency and Relationship with Local, State, or Federal Regulations

Any details or standards not covered by the development standards or Design Guidelines within the Loma Rica Ranch Specific Plan shall be subject to the regulation of the Grass Valley Municipal Code and applicable local, state and federal regulations. In case of differences between these development standards or Design Guidelines and the Grass Valley Municipal Code, the Loma Rica Ranch Specific Plan shall prevail.

Comprehensive Land Use Plan Consistency

By implementing mitigation measures found in the EIR and noise reduction measures contained within the Loma Rica Ranch Specific Plan, this Specific Plan is consistent with the Nevada County Airpark Comprehensive Land Use Plan (ALUP). Refer to Chapter 2 to review the portion of the Loma Rica Ranch Specific Plan that is within the Airport safety areas as shown on page 2-3.

Interpretation

In the event of ambiguity or circumstances, not specifically provided for in this Specific Plan, the Director shall evaluate such ambiguity or unanticipated circumstance to provide an interpretation of the intent of the land use standards that is consistent with the Guiding Principles and Plan Objectives set forth in Chapter 1 and with the Vision Plan set forth in Chapter 3. Any person aggrieved by such an interpretation may appeal the Director's decision to the Planning Commission in accordance with the procedure set forth in Chapter 17.91 of the Development Code. If this person is aggrieved by the interpretation of the Planning Commission, the Planning Commission's decision may be appealed to the City Council in accordance with the procedure set forth in Chapter 17.91 of the Development Code for a final determination.

City Council Declaration/Severability

If any section, subsection, sentence, clause, phrase or portion of this Specific Plan is, for any reason, declared by a court of competent jurisdiction to be invalid or ineffective, in whole or in part, such decision shall not affect the validity of the remaining portions thereof. The City Council hereby declares that they would have enacted these standards and each portion thereof, irrespective of whether one or more portions were declared invalid or ineffective.

Design Intent

Throughout this document, the strongest level of design intent is specified by the use of terms such as "must," "shall," and "prohibited." Preferred design items are designated as a condition which is "encouraged," "preferred," "recommended," "appropriate," or as one that "should" be included. The review authority shall determine which preferred design items are to be included in a specific project based on the Specific Plan's Guiding Principles and the location and existing physical environment surrounding the project. Preferred design items are considered "voluntary" and need not be included in a proposed project. Items that include one or more criteria or elements that are qualified with "discouraged," "inappropriate" or "should not" be included, are acceptable, if the approving body finds that proposed design is consistent with the overall design, intent and goals of the development standards, design guidelines and this Specific Plan.

Development Agreement

It is expected that the public amenities and benefits of the Specific Plan could be enhanced under the terms of a Development Agreement to be agreed to between the City Council and Loma Rica Ranch. If no agreement is reached on a Development Agreement, such anticipated enhancements of amenities and benefits to the City would not occur.

Table 7.1 Loma Rica Specific Plan Compliance With California Government Code Section 65451**California Government Code Section 65451**

(a) A specific plan shall include a text and a diagram or diagrams which specify all of the following in detail: (1) The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.

(2) The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.

(3) Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.

(4) A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out paragraphs (1), (2), and (3).

(b) The specific plan shall include a statement of the relationship of the specific plan to the general plan.

Loma Rica Specific Plan Compliance

The Loma Rica Specific Plan Regulating Code map illustrates where each of the land use zones are located. The Program Summary in Chapter 3 details the extent of land uses including open space.

Chapter 6 of the Specific Plan details infrastructure policies, and the distribution, location and components of the water, sewer, drainage, underground utilities (includes energy) and solid waste systems. Chapter 4 details the public and private transportation system.

Chapter 5 of the Specific Plan provides management guidelines and standards for Loma Rica's creeks, natural resources and cultural assets. The Form-based code (chapter 4) provides the standards and design guidelines by which development will proceed.

Chapter 7 of the Specific Plan provides the phasing and implementation measures for Loma Rica.

Government Code Section 65454 requires that a Specific Plan be substantively consistent with the General Plan and that it contain a statement regarding its relationship to the General Plan. The goals, objectives, policies, and implementation strategies of the Grass Valley General Plan express the vision and commitment of the City Council, the Planning Commission, and the citizens of Grass Valley toward improved land planning. That vision is a commitment to improve the quality of life for Grass Valley residents and "...to reaffirm certain directions, reverse others, and to introduce new issues and choices." To this end, this Specific Plan extensively complies with the Grass Valley General Plan, as amended. This Specific Plan proposes a shift in the land use designations of the Loma Rica

SDA as set forth in the 2020 General Plan, therefore an amendment is required to be approved concurrent to the adoption of this Plan. The Loma Rica Specific Plan recognizes, respects, and supports the various goals, objectives, policies and supporting text in the Grass Valley General Plan. The Grass Valley General Plan contains policies, goals, and objectives which apply to the presently incorporated area and the broader sphere of influence. The Loma Rica Specific Plan supports, endorses and re-affirms the General Plan commitment to: improving quality of life, valuing small town character, improving the sense of community, preserving historic features, supporting infill development and compact development patterns, associating jobs with housing, directing urban growth toward existing infrastructure, offering a wide range of housing choices, supporting alternatives to the automobile, protecting sensitive environments, expanding accessible open space, enhancing the regional trail system, providing more recreation services, increasing public transit, improving street safety, supporting the agricultural history, and providing a new model for sustainable growth for other, historic, Sierra small towns. The Specific Plan details the Loma Rica Project Objectives which address each of the policies, goals, and objectives listed above.

Table 7.2 Loma Rica Specific Plan Compliance With Grass Valley Development Code Section 17.78.050 – Preparation And Content Of Specific Plans

A. Required information. At a minimum, the following information shall be provided:

1. Proposed land uses. The distribution, location, and extent of land uses proposed within the area covered by the specific plan, including open space areas;

2. Infrastructure. The proposed distribution, extent, intensity, and location of major components of public and private circulation/transportation, drainage, energy, potable water, sewers, solid waste disposal, utilities, and other essential facilities proposed to be located within the specific plan area and needed to support the proposed land uses;

3. Land use and development standards. Standards, criteria, and design guidelines by which development would proceed, and standards for the conservation, development, and utilization of natural resources, where applicable;

4. Implementation measures. A program of implementation measures, including financing, methods, programs, regulations, and public works projects, necessary to carry out and provide the proposed:

- a. Development and conservation standards and criteria, infrastructure, and land uses;
- b. Public services, facilities and utilities, based on a nexus between development exactions being imposed and the development-induced needs being met by those exactions;
- c. Orderly phasing of the development; and
- d. Other measures needed to protect the health, safety, and well-being of the community.

5. Relationship to General Plan. A discussion of the relationship of the specific plan to the goals, policies, and objectives of the General Plan;

Loma Rica Specific Plan Compliance

See response to (a)(1) above in section on Compliance with California Government Code.

See response to (a)(2) above in section on Compliance with California Government Code.

See response to (a)(3) above in section on Compliance with California Government Code.

Chapter 7 of the Specific Plan provides the phasing and implementation measures for Loma Rica Ranch.

The Loma Rica Specific Plan is consistent with the goals, policies, and objectives of the Grass Valley 2020 General Plan. See Appendix “B,” which is a separately bound part of this Specific Plan, for a detailed analysis and documentation of the Specific Plan’s consistency with the General Plan.

6. Additional information. The specific plan shall contain additional information deemed to be necessary by the Director based on the characteristics of the area to be covered by the plan, applicable goals, policies, and objectives of the General Plan, or any other issue determined by the Director to be relevant.

B. Development or site plan required. Additionally, each specific plan application shall be accompanied by a development or site plan for the entire area of the proposed specific plan showing the material specified in Subsection 17.70.040 B. (Application contents) and Subsection A. (Required information), above, describing exactly how the proposed specific plan addresses the following items.

1. Provision of affordable workforce housing units and a mix of housing types. The applicant shall identify the location of all housing units, either attached or detached, which will be available for sale to low-to-moderate income families of Nevada County in compliance with Chapter 17.32 (Affordable Housing Density Bonuses and Incentives). The applicant shall also provide evidence of how the housing unit types have been mixed and integrated within the proposed project.

2. Integration of community design principles of the General Plan. The applicant shall identify how the project integrates the City's community design principles as the clustering, grouping, or mixing of uses, protecting important natural features, and providing internal pedestrian and bicycle connectivity.

Any additional information will be provided as requested by the Director.

The Loma Rica Specific Plan Regulating Code and map illustrates where each of the land use zones are located. The Program Summary in Chapter 3 details the extent of land uses including open space.

This project is not seeking a density bonus and is therefore not subject to the City's inclusionary housing ordinance (Chapter 17.32) nor is it subject to this item of Chapter 17.78.050 (B). However, the project will provide affordable workforce housing by design, typically two and three-bedroom units that are expected to be 1,000 to 1,500 square feet. These attached and detached units will be constructed throughout the project.

Loma Rica design principles are guided by a series of overarching design principles that encourage the development of the project as a complementary addition to the historic City of Grass Valley. These design principles include:

- Organization of the Plan area into a series of distinct, compact, walkable, interconnected neighborhoods, each with a recognizable center and guided by Traditional Neighborhood Development (TND) principles.
- Preservation and adaptive reuse of significant property assets, and the integration of new public and institutional uses into this existing cultural framework.
- Promotion of fine-grain connections throughout the project area and between Loma Rica and Grass Valley for pedestrians and bicyclists.

- Creation of an extensive system of parks and open space, including passive and active recreational opportunities, preservation and conservation of distinct natural features, and organic agriculture.

Extensive study of the architectural details of Sierra Foothill towns was undertaken so that Loma Rica Ranch will truly reflect the history and character of the region. The details of this study are displayed in Chapter 4 (Architectural Standards), where each proposed building type is illustrated with the standards that retain historical Sierra Foothill architecture.

In addition, the wide variety of parks, open space and trails are also designed according to specific design principles and standards that respect the goals, objectives, and policies of the General Plan, such as providing a balance between development and the natural environment, protecting and properly utilizing Grass Valley's sensitive environmental areas, natural resources and open space lands, and accommodating the needs and requirements of open space/conservation, habitat, recreation, and aesthetics.

The on-site transportation infrastructure at Loma Rica Ranch is based a smart-growth concept of "healthy street standards". These standards provide for a specific street design that results in safer neighborhoods, friendly streets where neighbors tend to communicate more, lower maintenance costs, greater housing affordability, higher energy efficiency and better environmental quality. Chapter 4 of the Specific plan provides detail on how these standards work.

Transportation infrastructure needs include extending Dorsey Drive through the Project and building additional roads for each of the neighborhoods.

The Nevada Irrigation District has adequate water supply and off-site infrastructure to meet the needs of growth. The waste-

3. Future transportation/infrastructure needs and current project-related deficiencies. The applicant shall provide an evaluation of how the project addresses and mitigates any existing transportation/infrastructure deficiencies in its immediate area of the community. The evaluation shall also show how the project will address any new demand placed on the City's transportation/infrastructure system through the provision of any on-site and off-site mitigation.

4. Future park/recreation facility needs and maintenance costs. The application shall identify all proposed park, recreation, or open space amenities proposed for the project and describe how the features meet the park and recreation goals of the General Plan. For all park, recreation, or open space amenities shown on the plan, the applicant shall provide a financing mechanism to cover projected maintenance costs.

5. Future short- and long-term fiscal impacts. The applicant shall provide information that documents the project's short- and long-term fiscal implications to the City. The information may be presented in the form of a fiscal impact analysis.

6. Consistency with General Plan policies and Sphere of Influence Plan. The application shall state how the proposed project is consistent with the goals and objectives of the General Plan and Sphere of Influence Plan. If the project is found to be inconsistent with any goal or policy, the applicant shall provide rationale or evidence of why an exception is warranted.

C. Additional requirements for specific plans involving annexation. For any specific plan proposal that involves an annexation to the City, the following application procedures shall be completed before the City is able to deem the application complete.

water (sewage) collection system will be expanded as required by the City's prevailing policies and standards to serve Loma Rica Ranch.

There are no current Project-related deficiencies associated with stormwater, drainage, underground utilities, or solid waste collection.

Loma Rica Ranch will pay development fees as mitigation for the Project's offsite infrastructure impacts and will develop on-site infrastructure. See Specific Plan Chapter on Infrastructure and Utilities for details.

The Specific Plan provides for a wide variety of parks, trails, plazas, squares, agricultural land, and public open spaces for active and passive recreation. The developer will be building the amenities and shall be credited for park fees.

Maintenance funding of Loma Rica Ranch parks is intended to come from a Landscape & Lighting Assessment District zone and/or homeowners' associations.

In addition to the above funding methods, open space and trails may be owned and/or maintained by a land trust or other private entity.

The Loma Rica fiscal impacts are addressed within the environmental review process.

See response to (B) above in section on Compliance with California Government Code regarding General Plan consistency. Loma Rica Ranch is already within the Sphere of Influence and it was anticipated that the site would be annexed between 2000 and 2005, according to the General Plan.

Loma Rica's annexation boundaries are the same as the project site boundaries.

1. Definition of annexation boundaries, phasing, and rate of growth. For all applications involving an annexation, the applicant shall define and provide rationale for how the annexation boundaries were formed, how the project would be phased, and an estimated rate of growth for all development types. The description of the phasing plan shall reference the timing for initiating any site disturbance or grading, installation of infrastructure, construction of any public amenities (e.g., open space, parks, schools, etc.), and development of all uses shown on the development or site plan.

2. For annexation applications that are not contiguous to the City limits. For all annexation applications that are not contiguous to the City limits:

3. For annexation applications that are entirely outside of the five-year time horizon.

4. Fiscal impact analysis required. For all annexations, the applicant shall be required to prepare a fiscal impact analysis of the entire annexation area.

5. Economic/market analysis required. For all annexations proposing a change in the land use designations or mix established for the property by the General Plan in the amount of 20 percent or more of its acreage or density, the applicant shall be required to prepare an economic/market analysis that verifies that the project will not impact the existing tax base, jobs/housing balance, and regional market demand.

D. Costs to be borne by the applicant. The specific plan and all environmental and fiscal studies required as a result of the specific plan, shall be paid for by the applicant who may be repaid by future developers of other portions of the specific plan area on a pro rata basis.

The phasing will adapt to market conditions and demand. Each phase will grade, install infrastructure, and build amenities in each neighborhood concurrent with development in that neighborhood and when there is adequate population to support their successful operation. The Project construction is expected to start within five years and will be built over approximately 10 to 20 years.

This is not applicable to Loma Rica, because the Project is contiguous to the City of Grass Valley.

This is not applicable to Loma Rica, because the Project is within the City's Sphere of Influence time horizon. Loma Rica's annexation time period in the Grass Valley General plan is 2000-2005.

The Loma Rica fiscal impacts will be addressed within the environmental review process.

Loma Rica paid for ¼ of the City of Grass Valley's economic/market analysis, which analyzed the tax base, jobs/housing balance and regional market demand.

The applicant will comply with this requirement.



Environmental Review

Adoption of a specific plan is a project subject to the California Environmental Quality Act (CEQA). As such, the Loma Rica Ranch Specific Plan required the preparation of an environmental impact report (EIR) disclosing the potential significant environmental effects of the Plan, Plan alternatives, and the means by which potentially significant environmental impacts may be mitigated or avoided. The comprehensive EIR addresses the maximum permitted intensity build-out and potential environmental impacts of the Loma Rica Ranch Specific Plan.

Government Code Section 65457 and Section 15182 of the CEQA Guidelines provides that once the EIR has been certified and the Specific Plan adopted, any residential development project, including any subdivision, or any zone change, that is undertaken to implement and is consistent with the Specific Plan is exempt from additional CEQA review. As a result, subsequent residential projects are exempt from further CEQA review.



For non-residential projects the City shall attempt to streamline the environmental review of applications under CEQA, including relying on the Specific Plan EIR and any other existing EIR to the extent permitted by law. The subsequent environmental review process will only need to address the project's site-specific impacts. If additional impacts are identified that cannot be mitigated and a subsequent EIR is required, general impacts that are addressed in the Specific Plan program EIR can be included by reference. Overall, the program EIR should result in faster processing of project applications that are consistent with the Specific Plan and the mitigation measures identified in the EIR.

The residential exemption from environmental review and the non-residential project review streamlining described above do not exempt future development permits from design review and public hearings as contemplated herein.

Mapping and Phasing

The first step in implementation of the Loma Rica Ranch plan is anticipated to be a tentative subdivision map, which will subdivide the Specific Plan area into parcels consistent with the framework outlined. All final subdivision maps may be approved on a phased basis. As the project develops, subsequent tentative maps further parcelizing the site or individual buildings may be submitted for approval.

Anticipated construction of Loma Rica Ranch will occur in at least 4 phases. Although future timing projections can be uncertain, the total length of construction is anticipated to be from approximately ten (10) to twenty (20) years, depending on market conditions. The anticipated project phasing is shown on page 7-13 Conceptual Phasing Plan.

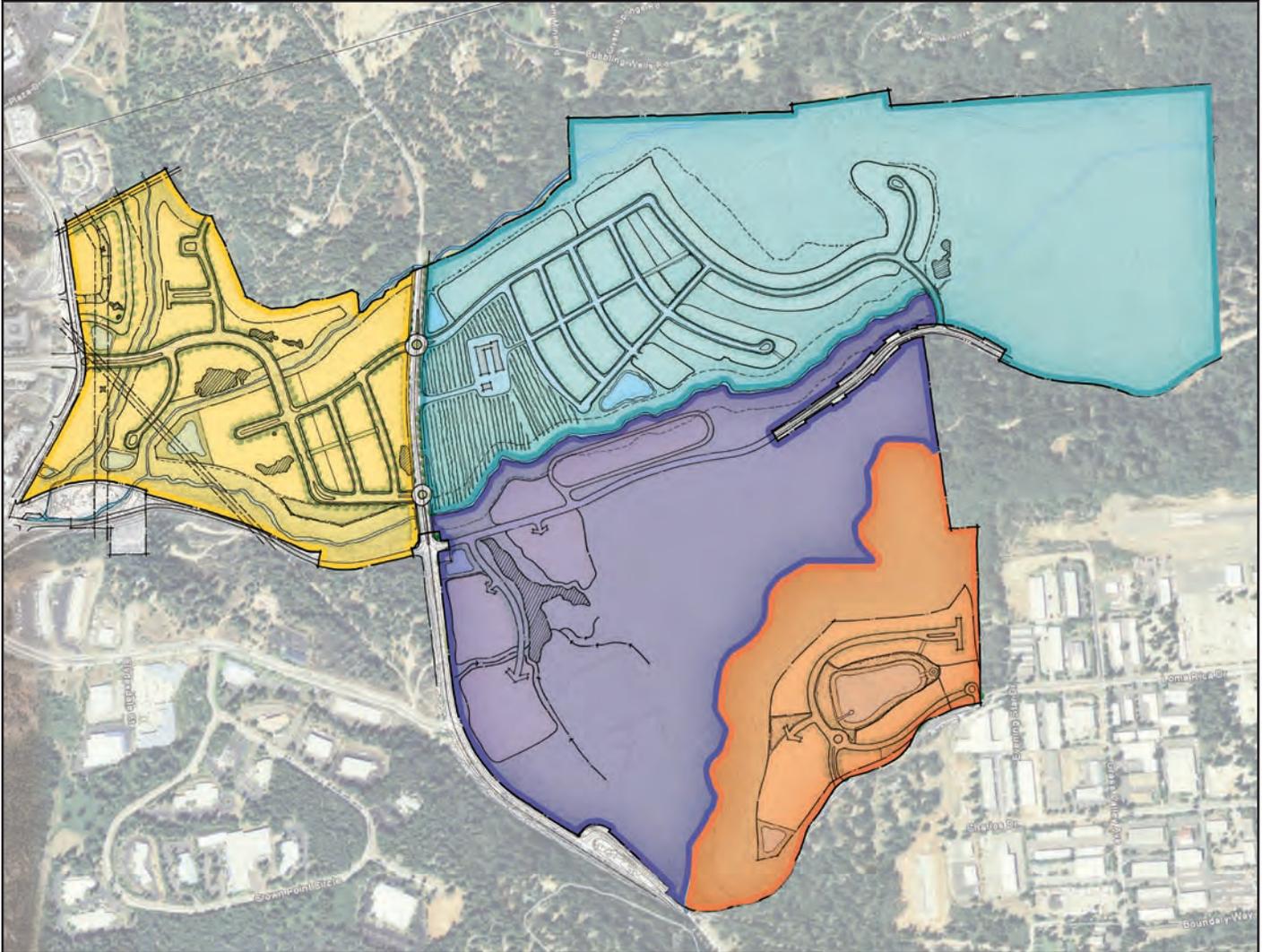
Installation of neighborhood recreation and/or community amenities will be concurrent with adjacent occupancy. The Director may allow landscaping installation to be delayed until weather conditions are conducive.

The Specific Plan is proposed with a phasing structure to provide for steady growth of Loma Rica Ranch in keeping with the City's projected housing demand. It has been developed to be flexible in its phasing in order to adapt to market conditions and demands.

As a phased development, Loma Rica Ranch will seek to provide the rate of development that meets demand. Rather than flooding the market with a large number of identical units at a single point in time, Loma Rica Ranch will provide a mix of housing types through the term of the project. A typical neighborhood will provide a variety of Building Types including single-family houses, bungalow courts, duets, townhouses, live-work flex-houses and/or flats above retail.

The Plan will focus development in clusters, stimulating growth in a pattern, and delivering amenities for neighborhoods. These amenities will be built when a critical mass of population is reached that will make their successful operation feasible. The timing of construction of the major phases will depend on market conditions. Construction phases can overlap and, to a limited degree, change in sequence. The timing of construction is also influenced by multiple agency approvals. If subsequent approvals are delayed, phasing may be adjusted in response to such delays.

Initial phases will be located based on their proximity to existing infrastructure and future infrastructure improvements. As a result, development may begin with either the Farm Neighborhood (Phase A), the Creeks Neighborhood (Phase B), the Trailhead Neighborhood (Phase C); or the Lake Neighborhood (Phase D).



Conceptual Phasing Plan

Key

-  Phase A
-  Phase B
-  Phase C
-  Phase D



Development Standards and Design Guidelines

The Development Standards contained in the Form-Based Code section, shall provide the requirements and design intent for the implementation of the Specific Plan. These standards supersede those found in of the Grass Valley Development Code.

Allocation of Units

This Specific Plan provides for overall aggregate residential unit and commercial square footage limits of development for the entire Specific Plan area. The precise allocation of density and type of development shall be determined as the Specific Plan is built out. The precise allocation of units for a neighborhood or sub-parcel shall be determined at the time of Site Plan Review approval. By keeping a tabulation, the City will ensure that the build-out of the Specific Plan area does not exceed the aggregate limits of development permitted under the Specific Plan.

Each neighborhood may be further parcelized into any number and size of sub-parcels. The location of property lines for sub-parcels within each individual development is flexible.

Transfer of Development Square Footage

In an effort to maintain flexibility to respond to changing community needs and market conditions over the build-out duration of Loma Rica Ranch, residential units and development square footage may be transferred up to twenty-five percent between neighborhoods through the Development Review process.

Development Review Permits

Future applications and activities within the LRR Specific Plan area that require subsequent review by the City will be considered in accordance with the City's Development Review Permit procedures set forth in Section 17.72.030 of the Development Code. However, given the prior Planning Commission review and input into the detailed policies, standards and regulations set forth in this Specific Plan, the Development Review Committee shall assume broader jurisdiction for Development Review Permits at Loma Rica Ranch than it generally has within other areas of the City. Accordingly, as it relates to future Development Review Permit authority at Loma Rica Ranch, Table 7-2 of the Development Code is amended as follows:

Table 7.3 Development Review Permit Authority

Permit Review Threshold Categories	DRC	Commission
Duet or multi-family unit with no more than 20 dwellings	X	
Multi-family unit with 21 or more dwellings.		X
Commercial, industrial, nonresidential or office structure with less than 20,000 square feet or greater of gross floor area including outdoor use areas.	X	
Commercial, industrial, nonresidential or office structure with 20,000 square feet or greater of gross floor area including outdoor use areas.		X
"Innovative" Building Types (see page 4-23)	X	X
Addition to an existing lawfully used structure of less than 20,000 square feet computed on gross floor area of the existing structure plus the area of the addition.	X	
Addition to an existing lawfully used structure of 20,000 square feet or more, computed on gross floor area of the existing structure plus the area of the addition.		X
Replacement of existing structure of the same capacity, size, and use resulting in an increase of up to 15% over the original capacity, size, or use.	X	
Replacement of existing structure resulting in an increase of more than 15% over the original capacity, size, or use.		X
Sign Exception Permits.	X	
NOTES		
The Director shall determine the review authority for proposals that do not match the threshold criteria identified above.		
Single-family residential units are exempt from Development Review Permit requirements, however they shall comply with the standards in this Specific Plan.		

Specific Plan Amendments

Technical Revisions, Minor Adjustments and Amendments to the Specific Plan

All revisions to the Specific Plan shall be considered in accordance with the following processing requirements.

A. Technical Revisions

The following changes in the Specific Plan shall not be considered amendments and shall be approved by the Director:

1. The addition of new information to the Specific Plan, in the form of maps and/or text, for the purpose of clarification that does not change the effect or intent of any regulation.
2. Changes to the project area infrastructure location and/or service providers (such as drainage systems, roads, water and sewer systems, etc.) so long as the applicable jurisdiction regulating such infrastructure has approved the changes.
3. Changes in land use boundaries shown on page 4-3 - Regulating Plan resulting from final road alignments and/or geotechnical or engineering refinements to the tentative and/or final tract map provided there is no more than a 15% increase or decrease in the area with the changed boundary.
4. Typographical and grammatical errors.

B. Minor Adjustments

The following changes to the Specific Plan shall qualify as Minor Adjustments:

1. Minor adjustments to any development standard and/or regulation set forth in the Specific Plan or the Development Code. Table 7.4 Minor Adjustments illustrates examples of the types of adjustments that would be considered "minor."
2. Minor changes in the layout of land uses.
3. Minor changes to the circulation, infrastructure and/or open space areas contemplated by the Specific Plan.
4. Transfer of residential units and/or commercial square footage between neighborhoods resulting in less than a 25% increase in the density of the neighborhood to which the density is transferred.

Table 7.4 Minor Adjustments

Types of Minor Adjustments	Maximum Adjustment
Distance between structures. A decrease in the minimum required distance between structures located on the same parcel.	15 percent
Fence or walls. Fences, gates, pilasters, or walls in the side and rear setbacks that exceed six feet in height.	8 feet maximum
Floor area ratio. An increase in the maximum allowable floor area ratio.	15 percent
Open space. A decrease in the minimum open space requirements.	20 percent
Parcel area. A decrease in the minimum required parcel area or size.	15 percent
Parcel coverage. An increase in the maximum allowable parcel coverage.	15 percent
Parcel dimensions. A decrease in the minimum required parcel width dimensions.	15 percent
Parking, loading, and landscaping. A decrease in the minimum parking and loading ratio standards and landscaping requirements.	15 percent
Parking lot dimensions. A decrease in the minimum parking lot and loading dimensions (e.g., aisle, driveway, and space widths).	15 percent
Projections. An increase in the allowable projection of canopies, cornices, eaves, fireplaces, landings, masonry chimneys, overhangs, raised porches, stairways, and steps into a required setback areas.	15 percent or 2' whichever is greater
Setback distance. A decrease in a required front, side or rear setback.	15 percent or 2' whichever is greater
Structure heights. An increase in the maximum allowable structure heights.	15 percent

The Director shall authorize a Minor Adjustment to the Specific Plan if the Director first finds that the Minor Adjustment:

1. Will result in a change or benefits that justify a deviation from the prescribed standard;
2. Will not be detrimental to the public interest, health, safety, convenience or welfare of the City;
3. Is internally consistent with all other applicable provisions of the Specific Plan;
4. Will not, following the incorporation of any required mitigation, result in a new significant environmental impact or a significant increase to a previously identified environmental impact previously analyzed in the Environmental Impact Report for the project;
5. Will not materially change a feature of the project that was the subject of conditions of approval for the project or that was a key consideration by the City Council in the approval of the Specific Plan; and
6. Will not result in an expansion of the total approved density and intensity of land use within the Specific Plan area.

C. Specific Plan Amendments

All changes to the Specific Plan that do not qualify as a Technical Revision or a Minor Adjustment shall be processed as a Specific Plan Amendment in accordance with Section 17.78.080 of the Development Code.

Additional Permits

Additional permits not described within this Chapter including, but not limited to, fencing permits, grading permits, building permits, parking permits and the like, shall be obtained through established procedures with the City or other agency where required.

Financing

The development plans for Loma Rica Ranch do not depend on any contributions from City funds. The developer will bear the cost of all infrastructure described in Chapter 6, except those capital improvements built with “excess capacity” to benefit other development outside the boundaries of Loma Rica Ranch. A developer may enter into a reimbursement agreement with the City for any portions of infrastructure that are required to be oversized for the benefit of development outside of the Specific Plan.

A variety of financing methods will be used to implement the Specific Plan, and will include various public and private sources of funding. Different methods of financing may be used for different phases of the project; as Loma Rica Ranch is built out, the precise method of financing shall be determined. The ultimate mix of financing mechanisms will be determined during the implementation process, based on final technical analyses of costs, benefits and burdens, and negotiations between City, property owners, developers/builders, underwriters, and public finance experts. Financing options that may be considered include but are not limited to:

- Fees
- Dedications and exactions
- Development Agreements
- Special Assessment Districts
- Community Facilities Districts (CFDs)
- Landscape and Lighting Districts (LLDs)
- Developer-provided funding
- Impact fees and connection charges
- Federal & State grants

It is the developer’s intent to enter into a series of secured subdivision improvement agreements with the City of Grass Valley. Under this standard procedure, the developer can proceed with subdivision marketing and sales prior to the actual completion of construction, and the overall feasibility of the project is enhanced.

Maintenance Responsibilities

In order to ensure that all infrastructure improvements, common areas and public facilities are well-maintained, this section sets forth the long-term maintenance responsibilities of the various private and public facilities contemplated within the Specific Plan area.

Additional City equipment and equipment storage areas for maintenance of streets and public improvements in the Loma Rica Ranch Specific Plan area may be necessary to adequately serve the Loma Rica area and the northern parts of the City.

Table 7.5 Maintenance Responsibility Matrix

Maintenance Area	City	Non-City Entity	Utility/ Service
Parks	X	X	
Open Space and Trails	X	X	
Public Streets	X		
Private Streets		X	
Storm Drains/ Detention Basins	X	X	
Alleys	X	X	
Electricity			X
Water			X
Sewer	X		
Gas			X
Telephone			X
Cable			X

Appendix A: Landscape Plant Matrix

The plant list is divided into two sections. The first section lists plants appropriate for areas adjacent to creeks, waterways, and other natural areas with an emphasis on native species. The second section lists plants that are more appropriate for parks within Loma Rica Ranch neighborhoods as well as individual landscape plans.

Riparian Corridors and Other Natural Areas

Botanical Name/Common Name	Drought Tolerant Low Water Use	Sun/Shade	Deciduous	Evergreen	California Native	Native in Foothills	Flowering	Fall Color
Trees:								
<i>Abies concolor</i> / White Fir				Yes	Yes	Yes		
<i>Acer macrophyllum</i> / Big-leaf Maple	riperian		Yes		Yes	Yes		*
<i>Alnus rhombifolia</i> / White Alder			Yes		Yes	Yes		
<i>Cercis occidentalis</i> / Western Redbud	Yes		Yes		Yes	Yes	*	
<i>Cornus nuttallii</i> / Western Dogwood	Yes		Yes		Yes	Yes		
<i> Cupressus macnabiana</i> / Macnab Cypress				Yes	Yes	Yes		
<i>Fraxinus latifolia</i> / Oregon Ash			Yes		Yes	Yes		
<i>Libocedrus decurrens</i> / Incense Cedar				Yes	Yes	Yes		
<i>Pinus lambertiana</i> / Sugar Pine				Yes	Yes	Yes		
<i>Pinus ponderosa</i> / Ponderosa Pine				Yes	Yes	Yes		
<i>Pinus Sabiniana</i> / Ghost Pine				Yes	Yes	Yes		
<i>Platanus racemosa</i> / California Sycamore	riperian		Yes		Yes	Yes		
<i>Populus fremontii</i> / Fremont Cottonwood			Yes		Yes	Yes		
<i>Populus tremuloides</i> / Quaking Aspen			Yes		Yes	Yes		*
<i>Pseudotsuga menziesii</i> / Douglas Fir				Yes	Yes	Yes		
<i>Quercus kelloggii</i> / Black Oak			Yes		Yes	Yes		
<i>Quercus lobata</i> / Valley Oak			Yes		Yes	Yes		
<i>Quercus wislizenii</i> / Interior Live Oak				Yes	Yes	Yes		
<i>Sequoia giganteum</i> / Giant Sequoia				Yes	Yes	Yes		
<i>Arbutus menziesii</i> / Pacific Madrone	Yes			Yes	Yes	Yes	*	*
Shrubs:								
<i>Aretostaphylos viscida</i> / White-leafed Manzanita				Yes	Yes			
<i>Baccharis glutinosa</i> / Mule Fat	riperian			Yes	Yes	Yes		
<i>Calycanthus occidentalis</i> / Spice Bush	riperian		Yes		Yes	Yes	*	
<i>Carpenteria californica</i> / Bush Anemone		p/shade		Yes	Yes		*	
<i>Ceanothus</i> spp.	Yes			Yes	Yes		*	
<i>Cornus stolonifera</i> / Redtwig Dogwood	riperian	p/shade	Yes		Yes			
<i>Corylus cornuta californica</i> / California Hazelnut		p/shade	Yes		Yes	Yes		
<i>Freemontodendron californicum decumbens</i> / Pinchill Flannelbush	Yes			Yes	Yes	Yes	*	
<i>Heteromeles arbutifolia</i> / Toyon				Yes	Yes	Yes		
<i>Mahonia aquifolium</i> / Oregon Grape								
<i>Rhamnus californica</i> / Coffeeberry		p/shade		Yes	Yes			
<i>Rhamnus ilicifolia</i> / Hollyleaf Redberry					Yes			
<i>Rhododendron occidentale</i> / Western Azalea	riperian	shade			Yes			
<i>Rhus trilobata</i> / Skunkbush	riperian				Yes			
<i>Salix exigua</i> / Sandbar Willow	riperian				Yes			
<i>Salix lasiandra</i> / Western Black Willow	riperian				Yes			
<i>Sambucus mexicana</i> / Blue Elderberry	Yes				Yes			
<i>Spiraea douglasii</i> / Western Spiraea					Yes			
<i>Symphoricarpos rivularis</i> / Common Snowberry	riperian				Yes			

Botanical Name/Common Name	Drought Tolerant Low Water Use	Sun/Shade	Deciduous	Evergreen	California Native	Native in Foothills	Flowering	Fall Color
Herbaceous:								
Achillea millefolium/ Yarrow					Yes			
Aquilegia formosa/ Western Columbine		shade			Yes			
Cyperus eragrostis/ Tall Cyperus	riperian				Yes			
Delphinium gracilentum/ Larkspur					Yes			
Dicentra formosa/ Western Bleeding Heart	Yes	shade			Yes			
Heuchera micrantha/ Alum Root	Yes	shade			Yes			
Iris inominata/ Pacific Coast Iris		shade			Yes			
Lupine argenteus/ Silverstern Lupine					Yes			
Lychnis		p/shade			Yes			
Mimulus angustatus/ Golden Sticky Monkeyflower					Yes			
Mimulus bifidus/ Sierra Bush Monkeyflower					Yes			
Monardella lanceolata/ Mustang Mint	riperian				Yes			
Monardella villosa/ Coyote Mint		shade			Yes			
Peltiphyllum peltatum/ Indian Rhubarb	riperian				Yes			
Penstemon heterophyllus/ Foothill Penstemon					Yes			
Penstemon newberri/ Mountain Pride					Yes			
Polystichum munitum/ Western Sword Fern	riperian	shade			Yes			
Satureja douglasii/ Yerba Buena		shade			Yes			
Silene californica/ Indian Pink	Yes				Yes			
Smilacina Stellata/ False Solomans Seal	riperian	shade			Yes			
Solidago californica/ California Goldenrod					Yes			
Viola purpurea		shade			Yes			
Woodwardia/ Giant Chain Fern		shade			Yes			
Grassland:								
Agoseris grandiflora/ Large Flowered Agoseris					Yes			
Allium sanbornii/ Sanborn's Onion					Yes			
Carex barbarae/ Santa Barbara Sedge	riperian				Yes			
Carex Nudata/ Torrent Sedge	riperian				Yes			
Clarkia spp./ Godetia					Yes			
Deschampsia cespitosa/ Tufted Hairgrass					Yes			
Eleocharis macrostachya/ Spikerush	riperian				Yes			
Elymus glaucus/ Blue Wild Rye					Yes			
Eriocholzia caespitosa/ Tufted Poppy					Yes			
Eriocholzia californica/ California Poppy					Yes			
Juncus halimifolius/ Baitic Rush	riperian				Yes			
Juncus effusus/ Soft Rush	riperian				Yes			
Juncus xiphioides/ Iris Leaved Rush	riperian				Yes			
Lupinus latifolius/ Broadleaf Lupine					Yes			
Lupinus nanus/ Sky Lupine					Yes			
Melica californica/ California Onion Grass					Yes			
Melica torreyana/ Torrey's Melic					Yes			
Muhlenbergia rigens/ Deer Grass	riperian				Yes			
Nassella pulchra/ Purple Needlegrass					Yes			
Scirpus californicus/ California Bulrush					Yes			
Vines:								
Aristolochia californica/ Dutchman's Pipe	riperian	p/shade			Yes			
Clematis lasiantha/ Pipestem	riperian				Yes			
Marah fabaceus/ Manroot	riperian				Yes			
Vitis californica/ California Grape					Yes			
Groundcover:								
Arctostaphylos 'Emerald Carpet'				Yes	Yes			
Arctostaphylos uva-ursi/ Bearberry				Yes	Yes		*	
Ceanothus lemmonii					Yes		*	
Ceanothus 'Yankee Point'					Yes		*	
Fragaria californica/ Wild Strawberry					Yes		*	
Lonicera hispidula var. vacillans/ Pink Honeysuckle					Yes		*	
Mahonia aquifolium 'Compacta'/ Dwarf Oregon Grape					Yes			

Plant List for Loma Rica Neighborhoods

The following plant list is meant to serve as a guide for the selection of plant material for the roadways, entries, recreation areas and other primary, public spaces for the Loma Rica Ranch project. This is by no means intended as a complete palette of plant materials for every possible use and situation within the context of the entire project. Individual projects will most likely involve a more comprehensive planting scheme to reflect the individual character and challenges of each situation. Rather, this matrix is meant to offer a guide for creating a sense of unity and continuity within the project as a whole. The plants have been chosen for their proven success in the region. They are generally well-adapted to the climate, soils, wildlife and other demands unique to the site. By emphasizing native or adaptive plant species, the project will maintain a landscape setting that is appropriate, sustainable and environmentally sensitive for the area.

Large Street Trees

Trees from this list should be used in parkways, median strips and at the edges of the primary roads in the project. These trees will create canopy shade and cooling of the travel ways as well as adjacent parking and pedestrian corridors. The trees are deciduous to allow for winter sun. Large street trees will create a unifying effect and can be a signature feature of the project.

Botanical Name/ Common Name	Drought Tolerant/ Low Water Use	Tolerant of Serpentine Soils	Deciduous	Evergreen	California Native	Native in Foothills	Fire Resistant	Flowering	Fall Color
Acer Rubrum/ Red Maple	No	Yes	Yes	No	No	No	No		*
Acer Saccharum/ Sugar Maple	No	Yes	Yes	No	No	No	No		*
Liquidambar Styraciflua/ Sweet Gum	No	Yes	Yes	No	No	No	No		*
Platanus Acerifolia/ London Plane Tree	Yes	Yes	Yes	No	No	No	No		
Quercus Coccinea/ Scarlet Oak	No	No	Yes	No	No	No	Yes		*
Robinia Ambigua/ 'Purple Robe' Locust	Yes	No	Yes	No	No	No	No	*	
Zelkova Serrata/ Sawleaf Zelkova	No	No	Yes	No	No	No	No		

Medium Street Trees

Trees from this list should be used along secondary roadways and parking areas within the project. They are suitable for use within the planting strips provided between smaller roads and single-family residential units. Being of a slightly smaller scale, they will be appropriate for planting in proximity to homes, gardens, sidewalks, etc. These trees are also deciduous to allow solar exposure to adjacent structures. Medium street trees can create identity within neighborhoods.

Botanical Name/ Common Name	Drought Tolerant/ Low Water Use	Tolerant of Serpentine Soils	Deciduous	Evergreen	California Native	Native in Foothills	Fire Resistant	Flowering	Fall Colors
Albizzia Julibrissin/ Mimosa	Yes	Yes	Yes	No	No	No	No	*	
Fraxinus 'Raywoodi'/ Raywood Ash	No	No	Yes	No	No	No	No		*
Malus Species/ Crabapple	No	No	Yes	No	No	No	No	*	*
Prunus Cerasifera/ Purple Leaf Plum	No	No	Yes	No	No	No	No	*	
Prunus Serrulata/ Flower Cherry	No	No	Yes	No	No	No	No	*	*
Pyrus Calleryan 'Aristocrat'/ Pear	No	No	Yes	No	No	No	No	*	*

Small Understory Trees

Trees from this list should be used as accent plantings at entries or in mass along roadways or open spaces. Some species may be planted under the canopy of larger trees. Trees of this scale are appropriate for use near buildings to soften and compliment the architecture of the structure.

Botanical Name/ Common Name	Drought Tolerant/ Low Water Use	Tolerant of Serpentine Soils	Deciduous	Evergreen	California Native	Native in Foothills	Fire Resistant	Flowering	Fall Colors
Acer Palmatum/ Japanese Maple	No	No	Yes	No	No	No	No		
Betula Jacquemontii/ Himalayan Birch	No	Yes	Yes	No	No	No	No		*
Cercis canadensis/ Eastern Redbud	No	No	Yes	No	No	No	No	*	*
Cornus Florida/ Flowering Dogwood	No	No	Yes	No	No	No	No	*	*
Cornus Nuttallii/ Pacific Dogwood	No	No	Yes	No	Yes	Yes	No	*	*
Lagerstroemia Indica/ Crape Myrtle	Yes	No	Yes	No	No	No	No		

Loma Rica Neighborhood Plant List provided by Jo McProud, McProud & Associates

Evergreen Coniferous Trees

Trees from this list are used in large open spaces as informal mass plantings or naturalized groves. Evergreen trees provide visual buffering and protection from harsh prevailing winds. Native conifers can be used to re-forest disturbed areas.

Botanical Name/ Common Name	Drought Tolerant/ Low Water Use	Tolerant of Serpentine Soils	Deciduous	Evergreen	California Native	Native in Foothills	Fire Resistant	Flowering	Fall Colors
Abies Concolor/ White Fir	Yes	Yes	No	Yes	Yes	Yes	No		
Calocedrus Decurrens/ Incense Cedar	Yes	Yes	No	Yes	Yes	Yes	No		
Cedrus Deodora/ Deodar Cedar	Yes	Yes	No	Yes	No	No	No		
Cupressus Macnabiana/ Macnab Cypress	Yes	Yes	No	Yes	Yes	Yes	No		
Pinus Nigra/ Austrian Pine	Yes	Yes	No	Yes	No	No	No		
Pinus Ponderosa/ Ponderosa Pine	Yes	Yes	No	Yes	Yes	Yes	No		
Pinus Sabiniana/ Ghost Pine	Yes	Yes	No	Yes	Yes	Yes	No		
Pseudotsuga Menziesi/ Douglas Fir	Yes	Yes	No	Yes	Yes	Yes	No		
Sequoiadendron Giganteum/ Giant Sequoia	Yes	No	No	Yes	Yes	Yes	No		
Sequoia Sempervirens/ Coastal Redwood	No	No	No	Yes	Yes	No	No		

Shrubs

Shrubs from this list are best used in mass plantings to screen views, integrate site elements and to provide seasonal color and interest to the landscape.

Botanical Name/ Common Name	Drought Tolerant/ Low Water Use	Tolerant of Serpentine Soils	Deciduous	Evergreen	California Native	Native in Foothills	Fire Resistant	Flowering	Fall Colors
Arbutus Unedo/ Strawberry Tree	Yes	Yes	No	Yes	No	No	No		
Arcostaphylos Densiflora 'H.McMinn'/ McMinn Manzanita	Yes	Yes	No	Yes	Yes	No	No	*	
Azalea Exbury/ Exbury Azalea	No	No	Yes	No	No	No	No	*	*
BerberisThunbergiana/ Japanese Barberry	No	No	Yes	No	No	No	No		*
Camellia Sasanqua/ Sasanqua Camellia	No	No	No	Yes	No	No	No	*	
Ceanothus 'Julia Phelps'/ Mountain Lilac	Yes	Yes	No	Yes	Yes	No	Yes	*	
Cercis Occidentalis/ Western Redbud	Yes	Yes	Yes	No	Yes	Yes	Yes	*	
Cistus Hybridus/ White Rockrose	Yes	Yes	No	Yes	No	No	Yes	*	
Cistus Purpureas/ Orchid Rockrose	Yes	Yes	No	Yes	No	No	Yes	*	
Cornus Stolonifera/ Redtwig Dogwood	No	No	Yes	No	Yes	Yes	No		*
Eleagnus Pungens/ Silverberry	Yes	Yes	No	No	No	No	No		
Escallonia Fradesii/ Escallonia	Yes	Yes	No	No	No	No	No	*	
Euponymus Alatus 'Compacta'/ Burning Bush	Yes	No	Yes	Yes	No	No	No		*
Forsythia Xintermedia/ Forsythia	Yes	No	Yes	Yes	No	No	No	*	
Heteromeles Arbutifolia/ Toyon	Yes	No	No	No	Yes	Yes	No		
Magnolia Stellata/ Star Magnolia	No	No	Yes	Yes	No	No	No	*	*
Mahonia Aquifolium/ Oregon Grape	Yes	No	No	No	Yes	No	No		
Nandina Domestica/ Heavenly Bamboo	No	Yes	No	No	No	No	No	*	*
Pinus Mugo Mugo/ Mugho Pine	Yes	Yes	No	No	No	No	No		
Rhododendron Species/ Rhododendron	No	No	No	No	No	No	No	*	
Rhus Typhina/ Staghorn Sumac	No	No	Yes	Yes	No	No	No		*
Viburnum Tinus/ Laurustinus	No	Yes	No	No	No	No	No	*	
Woodwardia Fimbriata/ Chain Fern	No	No	No	No	Yes	Yes	No		

Groundcovers, Vines And Perennials

These materials have specific, detailed uses in the landscape setting. Primarily they are meant as focal points in the entries, near signs or other identity elements. Groundcovers and perennials should be used in mass plantings to create effective statements

Botanical Name/ Common Name	Drought Tolerant/ Low Water Use	Tolerant of Serpentine Soils	Deciduous	Evergreen	California Native	Native in Foothills	Fire Resistant	Flowering	Fall Colors
Ajuga Reptans/ Carpet Bungle	No	No	No	Yes	No	No	Yes	*	
Arctostaphylos Uva-Ursi/ Manzanita	Yes	Yes	No	Yes	Yes	No	Yes	*	
Baccharis Pilularis Pilularis/ Coyote Bush	Yes	Yes	No	Yes	Yes	No	Yes		
Ceanothus Gloriosus/ Ceanothus	Yes	Yes	No	Yes	Yes	No	Yes	*	
Cotoneaster Lowfast/ Lowfast Cotoneaster	Yes	Yes	Yes	No	No	No	Yes	*	
Hemerocallis Species/ Daylily	No	No	Yes	No	No	No	Yes	*	
Hypericum Calycinum/ St. Johnswort	Yes	No	No	Yes	No	No	Yes	*	
Iberis Sempervirens/ Evergreen Candytuft	No	No	No	Yes	No	No	No	*	
Lavandula Species/ Lavender	Yes	No	No	Yes	No	No	Yes	*	
Mahonia Repens/ Creeping Oregon Grape	Yes	No	No	Yes	Yes	No	No		
Narcissus Species/ Daffodil	No	No	Yes	No	No	No	Yes	*	
Parthenocissus Quinquefolia/ Virginia Creeper	No	No	Yes	No	No	No	No		*
Parthenocissus Tricuspidata/ Boston Ivy	No	No	Yes	No	No	No	No		*
Phlox Subulata/ Moss Pink	No	No	No	Yes	No	No	No	*	
Rosmarinus Officinalis/ Rosemary	Yes	No	No	Yes	No	No	Yes	*	
Vinca Minor/ Dwarf Periwinkle	No	No	No	Yes	No	No	Yes	*	
Wisteria Sinensis/ Chinese Wisteria	No	No	Yes	No	No	No	No	*	

Turf

Lawn areas should be limited to areas where they are accessible to public use, primarily as a recreational element. Using lawn for purely decorative purposes in the landscape is discouraged, as it is not an efficient use of resources and is maintenance intensive.

Botanical Name/ Common Name	Drought Tolerant/ Low Water Use	Tolerant of Serpentine Soils	Deciduous	Evergreen	California Native	Native in Foothills	Fire Resistant	Flowering	Fall Colors
Hybrid tall fescue	Yes								

