

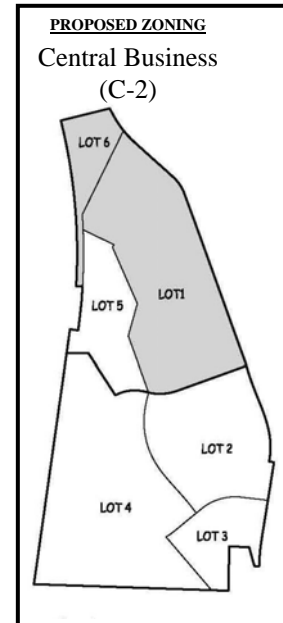
CENTRAL BUSINESS (C-2) ZONING DISTRICT

PROPOSED COMMERCIAL CONFIGURATIONS

The purpose of the Central Business (C-2) Zoning District is to provide a centralized, pedestrian-oriented center, offering a variety of retail, commercial, office and possible mixed-residential land uses that will serve residents within the plan area and neighboring Grass Valley community.

The C-2 Zoning District serves as a gateway to The Village at SouthHill and the permitted uses, development standards and design guidelines established herein are tailored to create an attractive, inviting village atmosphere which offers the following amenities:

- ◇ A mixture of retail, service, public, office, recreation and residential uses that encourage pedestrian activity.
- ◇ An interconnected circulation network that provides a variety of convenient routes for pedestrians and vehicles.
- ◇ A pedestrian friendly environment that includes streetscape design components, such as enhanced street and sidewalk sections, building locations, street trees and other features that, when combined, create attractive public spaces.
- ◇ Public plazas and open space areas that provide opportunities for public gatherings.



These amenities shall be provided through the use of various design techniques, such as enhanced street sections featuring diagonal parking, decorative landscaping, vibrant storefronts, covered walkways, parking areas behind buildings, wide sidewalks and a variety of related land uses. The type of site design standards, permitted uses, landscaping and architectural details needed to create the intended village/“center” atmosphere are detailed throughout this chapter.



Lastly, The C-2 Zoning District encourages the use and practice of Green Building concepts related to livable communities, energy efficiency, indoor air quality, resource conservation, and water conservation in order to enhance the well-being of occupants and supports a healthy community and natural environment.

Conceptual Village Design

PERMITTED LAND USES

The following table provides a list of permitted and conditionally permitted land uses within the proposed C-2 Zoning District:

P = Permitted Use / MUP=Minor Use Permit / UP = Use Permit

| Proposed Land Uses | C-2 Zoning District |
|---|----------------------------|
| Antique or Collectable Store | P |
| Artisan Shop | P |
| Automated Teller Machines (ATMs) | P |
| Banks and Financial Services | P |
| Bar, Tavern, Night Club | P |
| Business Support Service | P |
| Catering Service | P |
| Church | P |
| Coffee Shop/Kiosk With or Without Drive Throughs | P |
| Commercial Filming | P |
| Commercial Recreation Facility- Indoor | P |
| Commercial Recreation Facility- Outdoor | P |
| Community Centers and Common Area Recreation Facilities | P |
| Conference Convention Facility | P |
| Convenience Stores | P |
| Cultural and Performing Arts Facilities | P |
| Day Care- Child or Adult Day Care Center- Refer to Section 17.44.060 of Development Code | UP |
| Fitness/Health Facility | P |
| Furniture, Furnishings and Appliance Stores | P |
| Hotel- With Conference Facilities | P |
| Gas Station- Refer to Section 17.44.200 of the Development Code | P |
| General Retail | P |
| General Retail related to Alcoholic Beverage Sales | MUP |
| General Retail related to Drive Through Facility-Refer to Section 17.44.090 of the Development Code | UP |
| General Retail related to Floor Area (single tenant) over 10,000 square feet | P |
| General Retail related to Operating between 9:00PM and 7:00AM | UP |
| General Retail Related to Second Hand or Thrift Store | P |
| Grocery Stores- With or Without Drive Throughs | P |
| Laundromats | P |
| Live/Work Quarters- Refer to Section 17.44.100 of the Development Code | P |
| Lodging-Hotel Units (including fractional ownership) | P |
| Media Production | P |
| Medical Services- Clinic, Urgent Care | P |
| Medical Services- Doctor's Office | P |
| Meeting Facility, Public or Private | P |
| Membership Organization Facilities | P |
| Mixed-Use Project Residential Component- Refer to Section 17.44.140 of the Development | P |

P = Permitted Use / MUP=Minor Use Permit / UP = Use Permit

| Proposed Land Uses | C-2 Zoning District |
|--|---------------------|
| Code | |
| Office- Government | P |
| Office- Supporting Retail | P |
| Office-Business, Service | P |
| Office-Professional, Administrative | P |
| On-Site Contractors' Temporary Construction Yards | P |
| Outdoor Retail Sales and Displays | P |
| Parking Facility, Public or Commercial | P |
| Parks and Playgrounds | P |
| Personal Services | P |
| Pharmacy | P |
| Plazas and Outdoor Gathering Areas | P |
| Post Offices | P |
| Printing and Publishing | P |
| Public Buildings and Structures | UP |
| Public Safety and Utility Facilities | UP |
| Public Safety Facility | UP |
| Recreational Facilities (<i>amphitheatres, bandstand areas, barbeque pits, fire pits, gazebos, public gathering spaces, water features and similar uses</i>) | P |
| Recycling-Reverse Vending Machines | P |
| Repair Service- Equipment, Appliances, etc., as Primary Use | P |
| Restaurants, Café | P |
| Restaurants and Cocktail Lounges (<i>including outdoor dining with table service</i>) | P |
| Retail Sales (<i>general merchandise</i>) | P |
| School, Specialized Education and Training | P |
| Seasonal Sales Lots | P |
| Social Service Organization | P |
| Sport Courts (<i>tennis, basketball, etc.</i>) | P |
| Storm Water Retention Facilities | P |
| Studio- Art, Dance, Martial Arts, Music, etc. | P |
| Temporary Real Estate Offices | P |
| Temporary Work Trailers (<i>office and related uses associated with active construction projects</i>) | P |
| Theaters and Meeting Halls | P |
| Tourist Information Center and Community Facilities | P |
| Trails | P |
| Utility Facilities | UP |
| Veterinary Clinic, Animal Hospital- Small Animals | UP |
| Visitor Centers | P |
| Wireless Telecommunication Facility- Refer to Chapter 17.46 of the Development Code | P |

DEVELOPMENT STANDARDS

The Village at SouthHill shall be developed in accordance with the approved Overall Development Plan (Exhibit 1) and consistent with the City of Grass Valley’s C-2 development standards, with the exception of those being modified by this Master Plan, as shown on the applicable exhibits and as provided in the following table:

| C-2 General Development Standards | Requirements |
|--|--|
| Lot Size | |
| ◊ Minimum Area | As shown on the Tentative Map. |
| ◊ Minimum Width | As shown on the Tentative Map. |
| Density | 15 units per acre |
| Setbacks | |
| ◊ Front | None Required |
| ◊ Side Interior | 10 feet on a site abutting a residential use, none elsewhere |
| ◊ Side-Street Side | None Required |
| ◊ Rear | None Required |
| Site Coverage | As shown on the Tentative Map. |
| Height Limit | 50 feet, 4 stories |
| Parking | As shown on the Tentative Map. |
| Fencing | See Section 17.30.040. of the Development Code |
| Landscaping | As shown and described in the Master Plan. |
| Sign | As shown and described in the Master Plan. |

Additionally, lots may be adjusted and/or combined, provided the total adjusted area is within 20% of the total project configuration, as shown on the Overall Tentative Map (Exhibit 2), without discretionary review by the appropriate reviewing authority. Lastly, all Condominium Plans associated with The Village at SouthHill Master Plan are assumed approved and will not require a subsequent Tentative Map when found to be generally consistent with the Overall Development Plan (Exhibit 1). Recordation of a subsequent Final Condominium Plan shall be processed in compliance with Article 8 of the City of Grass Valley Development Code.

DESIGN CONSIDERATIONS

The following section provides written directions and illustrated design examples relating to the basic quality of the C-2 Zoning District buildings, in terms of form, color and scale. These guidelines address each of these elements in general terms and establish basic principles, which are further expanded upon in detail through the application of specific site and architectural guidelines. This section describes the design principles important to both the City and developer. These design principals will not be viewed as standalone. Rather, they are to be used in concert with the more specific guidelines found in the subsequent chapters/sections of this document.

Each guideline shall be considered for how it applies to a given product. The illustrated design examples communicate general ideas and shall not be viewed as design solutions for specific building applications.

GENERAL DESIGN GOALS

These design guidelines are intended to ensure that the following design objectives are met within a reasonable manner:

1. Buildings on-site shall be linked visually through architectural style, colors, materials, landscaping and details such as signage and lighting.
2. Buildings shall be scaled and organized to provide a pedestrian scaled “village” character that avoids traditional “strip retail” development.
3. All development in the C-2 Zoning District shall provide pedestrian amenities, such as wide sidewalks and street furnishings, to encourage pedestrian use and social interaction.
4. Where appropriate, outdoor public spaces shall be incorporated for special events and gatherings.
5. Street tree canopies and covered pedestrian spaces shall be created/maintained along building façades, to reduce inclement weather hazards for pedestrians.
6. Service areas at the rear of buildings shall be provided and consolidated among establishments to minimize pedestrian conflicts.



ARCHITECTURAL DESIGN GUIDELINES

GENERAL DESIGN CONSIDERATIONS

The following architectural design guidelines have been established to support the goals for the C-2 Zoning District. These guidelines are intended to provide direction for the design of buildings and site improvements within the plan area and shall be utilized to evaluate future development proposals. The following design guidelines shall be implemented in the design of the structures within the C-2 Zoning District.



The Village at SouthHill C-2 Zoning District plan area has been designed to be consistent with the City’s development standards, with the exception of parking.

Building site locations were determined by analyzing the specific characteristics of the C-2 Zoning District plan area to preserve the overall dominance of the existing site conditions and proximity to vehicular access. Each building location was evaluated by applying the following objectives:

1. Protect valuable environmental resources, such as pond areas and Heritage Oak trees along La Barr Meadows Road.
2. Protect and utilize distinctive natural features, such as trees and other vegetation, ponds, streams, large rocks and outcroppings and the topography of individual sites, by zoning “open space” areas as shown on the Pre-Zoning Exhibit Map (Exhibit 9).
3. Buildings shall be designed so they may be adapted to a variety of uses and tenants throughout the life of the building.
4. Relate building heights to open spaces, allowing for maximum sun and ventilation, protection from the elements and enhanced views of surrounding natural features.

SITE DESIGN

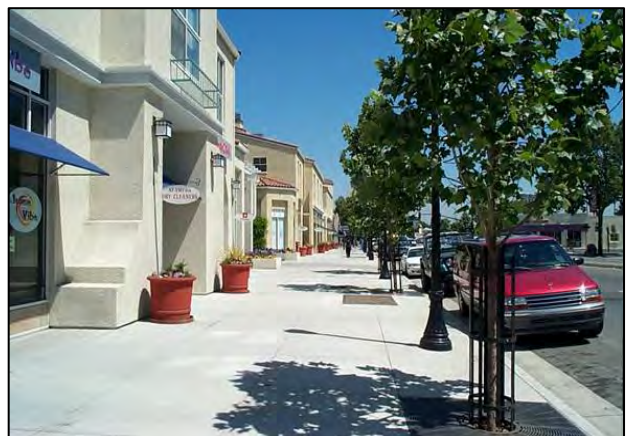
While the existing Overall Development Plan allows flexibility in layout, buildings shall consider the following elements in their design:

Pedestrian Access and Circulation

1. Site layouts shall be designed to provide pedestrian access from the public street(s) to the main entrance of each building.
2. Each building shall also have a clearly defined access route connecting to adjacent buildings throughout the project.



THIS ~ Color and texture.



NOT THIS ~ Sterile concrete.

Plazas and Paving

1. Buildings shall be arranged on-site to create “outdoor rooms” or plazas.

2. Exterior spaces shall provide for shade during the summer and protection from wind and rain in the winter.
3. Special attention to color and patterns of paved areas shall be considered.
4. Permeable or interlocking areas are preferred in pedestrian areas.

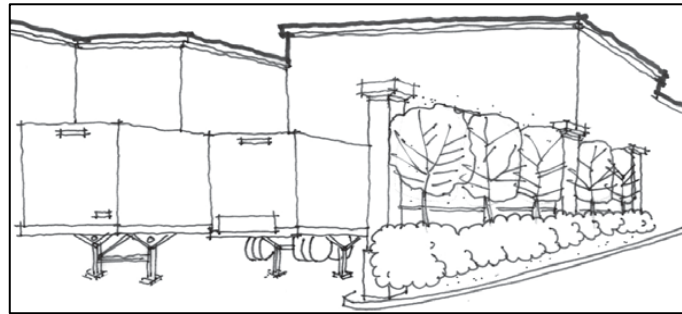
Site Furnishings

Public activity areas shall provide planters, seating areas, lighting and possibly fountains or sculptural artwork.



Loading and Service Areas

1. Loading and service areas for delivery of merchandise shall be located away from storefronts and pedestrian circulation areas.
2. Loading docks shall be screened from adjoining residential areas through the use of walls and/or landscaping.



Typical Screened Loading Area

Trash/Recycling

All refuse containers shall be placed within screened enclosures designed to be compatible with the project.

ARCHITECTURAL DETAILS

Building materials, forms and details are intended to create a harmonious relationship with the surrounding area and reflect the character of Grass Valley.

Forms and Massing

1. The buildings within the C-2 Zoning District shall be designed to incorporate a combination of 1- and 2-story massing, anchored by vertical elements with a variety of roof forms.
2. All building elevations shall be designed to be articulated with details and elements from the primary façade. No blank, unarticulated building façades are permitted.

Building Height

All buildings heights in the C-2 Zoning District shall not exceed 50 feet or 4 stories.

Scale

Large, bulk buildings that give the appearance of “square boxes” are generally unattractive and detract from the overall scale of the region. These building types shall be enhanced through one or more of the following methods:

1. Vary the planes of exterior walls in depth and/or direction.
2. Vary the height of buildings so they appear to be divided into distinct massing elements.
3. Articulate the different parts of a building’s façade by use of color, arrangement of façade elements and/or a change in materials.
4. Break up large, dominating buildings by using landscape materials, awnings, eaves, windows or other architectural ornamentation and combinations of complementary colors.
5. Use landscaping and architectural detailing at the ground level to lessen the impact of an otherwise bulky building.
6. Avoid blank walls at the ground floor level. Utilize windows, wall articulation and change in materials or other features.

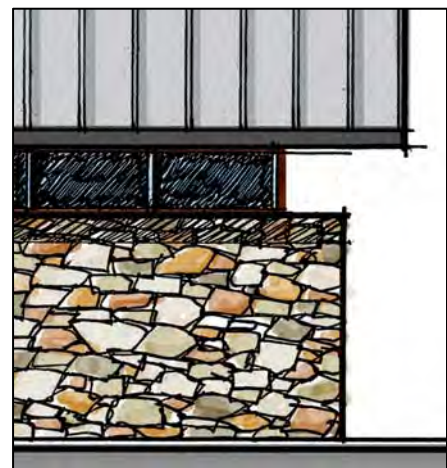
Entries

1. Frontage types that provide a transition from public to private, indoor to outdoor, at the main entrance of each building are required. Entries shall utilize a “shopfront” entry for access from public right-of-way.
2. Design buildings on corner lots with two front entries facing the public right-of-way.
3. Provide access to second-story space by way of a stair entry located through a separate entrance.

Exterior Walls

1. All building materials utilized for the development shall be durable, high quality and architecturally authentic.
2. Exterior building materials within the C-2 Zoning District may utilize one or more of the following building materials:

- a. *Stone* – Stone indigenous to the Sierra Nevada area, such as weathered granite or basaltic rock, shall be used to tie buildings to their sites and may also be used to express structural mass in walls and chimneys. The stone shall be laid in a manner that appears structural. Stone walls shall strive to appear load-bearing, as opposed to a thin veneer.



- b. *Wood Shakes and Shingles* – The shingle style of California, often found in cottages, bungalows and Arts and Crafts buildings. Shakes and shingles can add a refinement, varied texture and pattern to wall surfaces.
- c. *Red Brick* – Red brick is a functional and attractive texture found in Sierra Foothill Gold Country Architecture and is a recommended texture for The Village at SouthHill.
- d. *Wood Board and Batten* – Vertical board and batten, as well as reversed wide battens over boards, may be used in varied sizes and widths.
- e. *Wood Siding* – Various sizes and profiles of wood siding may be used in horizontal or vertical patterns.
- f. *Metal Siding* – Metal siding may be used in a limited manner to accent building forms. When used, metal siding shall naturally patina in colors that blend with the subtle earth tones of the site, such as corten steel and similar metals.
- g. *Fiber Cement Siding* – Cement siding may consist of shingle patterns, lap siding and vertical siding panel applications with deep, authentic textures.
- h. *Stucco* – Real or synthetic stucco with a rough texture which maintains a character of having been applied over masonry is appropriate.
- i. *Ornamental and Structural Steel* – These steel materials may be used as accent elements to reinforce the structural expression and crafted nature of the structure. Appropriate uses include exposed structural numbers, metal banding at column bases, steel cross-ties and steel connectors at timber connections.



Doors and Windows

1. Exterior doors shall be designed to be compatible and harmonious with the architectural character of the building. Such doors may incorporate glass panes.
2. Windows shall be proportionately consistent with the architectural character of the building. Roof overhangs shall be used to shade large glass areas and avoid reflective glare. Colored and reflective glass is discouraged.
3. Glass shall be clear and have low reflectance, but with high performing coating, such as “low E.”

4. Highly reflective glass and storefront window and/or door systems are not consistent with the design theme of The Village at SouthHill plan area and shall be prohibited.
5. Aluminum storefront windows may be used; however, they shall be painted and not galvanized. Colors shall be warm tones and compatible with the surrounding materials.

Roofs

1. Roof forms within C-2 Zoning District shall be simple and strive to avoid complex intersections at awkward pitches and angles.
2. Roof forms shall be designed to consider rain shedding. The roof plan shall be designed in concert with the site and landscape plans to avoid conflicts with drainage and safety issues.
3. The technical design of roofs, such as detailing for ventilation, insulation, gutters and similar use, will consider the factor of severe rainfall.
4. Mechanical equipment shall be integrated within the roof design and not visible from the roadway.



Gutters and Downspouts

1. While the overall design and strategic placement of roof forms shall be the primary way to effectively manage water run-off, additional gutters and downspouts may also be needed to properly design the roof system for drainage and safety. These devices can be used effectively to divert water away from entries.
2. Gutters, downspouts and flashing shall be fabricated from metal. Metal with an applied coating to relate to or match the primary or secondary roof color may be used.

Photovoltaic Panels and Shingles

Photovoltaic panels and shingles may be allowed on roofs if incorporated as part of the roof or roof form.

Colors

1. The palette of colors from which to select are those that can be found in the natural, surrounding environment.
2. The dominant color of new buildings shall relate to the inherent color of the primary



building's finish materials.

3. While subdued colors usually work best as a dominant/overall color, a bright trim color might be appropriate, if it can be shown to enhance the nearby visual environment.
4. The color palette chosen for a building shall be compatible with the colors of adjacent buildings and the C-2 Zoning District color palette below.

5. Minimize the number of colors appearing on the building exterior. Small office/retail buildings shall use no more than three colors, except when requested by the applicant and approved in the design review process on the basis that the design warrants additional colors.



6. Depending on the overall color scheme, accent colors may be effective in highlighting the dominant color by providing contrast or by harmonizing with the dominant color.

7. In buildings of a particular historical character or architectural style, exterior color shall be in keeping with the building's proposed character and style.

8. Architectural detailing shall be painted to complement the façade and tie in with adjacent buildings.
9. Accent colors for trim shall be used sparingly and limited in number for each building. Accent colors on adjacent buildings shall be chosen to complement one another.

Exterior Equipment

All exterior mechanical, electrical and other utility equipment, such as metering devices, transformers, gas meters and satellite dishes, shall be substantially screened from public view and adjacent buildings. Wall-mounted utilities shall be screened using landscaping or material similar to the exterior walls, with exposure only as required by utility companies for meter reading.

SITE PLANNING & GENERAL DEVELOPMENT STANDARDS

SIGNAGE

A conceptual Master Sign Program has been developed to be generally consistent with the City's Development Code. This program provides the necessary guidance for implementing signage that meets the identification and informational needs of the community and is aesthetically compatible with the thematic and quality standards established for The Village at SouthHill.

The Master Sign Program has been segregated into categories according to function, such as identification, directional and regulatory, as follows:

- ◇ Identification
 - ◆ Freeway Monument Sign
 - ◆ Project Entry Monument
 - ◆ Retail Tenant Signage
 - Wall-Mounted
 - Hanging
 - Window
 - Glass Door
 - ◆ Building Addresses
 - Retail/Commercial
 - ◆ Street Signs
 - ◆ Flags and Banners
 - Commercial
 - Residential
 - Community
- ◇ Directional
 - ◆ Vehicular/Pedestrian
 - ◆ Directory
- ◇ Regulatory
 - ◆ Vehicular
 - ◆ Pedestrian

Design Objectives

1. All signage shall be constructed with high quality materials, finishes and fabrication.
2. All signage shall promote and enhance the architectural and landscape design of the individual project it serves.

3. All signs and their supporting structures shall be enclosed and maintained in good condition. Exposed hardware shall be finished in a manner consistent with quality fabrication practices.
4. In order to prevent staining of architectural surfaces, non-corrosive materials shall be used on all exterior signs.
5. All signage within private uses shall maintain a minimum 5 foot setback from any public right-of-way.
6. The number and size of signs shall be kept to a minimum. Only signs necessary to clearly communicate the message intended shall be permitted.
7. Sign copy shall be kept to a minimum and shall be appropriately scaled to the architectural design of the structure and tenant space it serves.
8. No advertising shall appear on signs, accept as established within the Master Sign Program for the individual project it serves.
9. Unless wall mounted, all signs shall be architecturally treated equally on both sides.
10. Tenant signs shall:
 - a. Be designed as an integral part of the architecture.
 - b. Be limited to the tenant name and logo.
 - c. Be removed when business goods are no longer sold or produced or services are no longer provided.
 - d. Utilize appropriate lighting methods, as described in the Lighting section of this chapter.

Identification Signage

The following sign types will inform the general public about the community and its boundaries.

1. Freeway Monument Sign – The freeway monument sign shall be located on Lot 6 near the entrance to the C-2 Zoning District. It may incorporate a tower structure (to be designed at a later date and approved by City Planning Staff) and shall incorporate the identity of The Village at SouthHill.
 - a. The monument structure height shall not to exceed 40 feet.
 - b. The area of signage on the face of a structure shall not exceed 25% of the total area.
 - c. The sign shall contain the name of the center and identity/logos of primary retail tenants.

- d. The sign may be internally illuminated to provide visibility in all types of weather.
 - e. The sign and any supporting or associated structures shall portray a rural character. The use of wood and native rock is encouraged.
2. Entryway/Freestanding Monument Style Signs
- a. Entryway signage shall be provided at each roadway entrance to The Village at SouthHill central business/community business park development areas.
 - b. Entryway signage may consist of monumentation, garden or screen walls or sculptural elements that depict the thematic architecture of the plan area.
 - c. Entryway signage shall be integrated into the landscape design of the immediate area and incorporate trees, shrubs and groundcover.
 - d. Kiosk or multi-panel signage is allowed for the identification of multiple businesses, as viewed from La Barr Meadows Road and SR49 (northwest corner of the property and south west corner of the property).
 - e. Lighting shall be indirect and preferably incorporated as part of the sign structure.
 - f. Maximum sign height shall not exceed 20 feet.
3. Retail Tenant Signage – Each retail tenant shall be allowed one hanging sign, one wall-mounted sign and two window signs per business frontage, as detailed below:
- a. Wall-Mounted Signage
 - 1) Maximum sign areas shall be consistent with the City’s Development Code (Table 3-11).
 - 2) Signs shall be constructed of natural materials (e.g., wood, metal, etc.).
 - 3) Signs shall not obstruct any portion of a window.
 - 4) Signs may be internally or externally illuminated.
 - b. Hanging Signage
 - 1) Maximum sign areas shall be consistent with the City’s Development Code (Table 3-11).
 - 2) The bottom of a sign shall not hang lower than 8 feet above ground plane.
 - 3) Signs shall be constructed of natural materials (e.g., wood, metal, etc.).
 - 4) Signs may be internally or externally illuminated.
 - c. Window Signage

- 1) A maximum of two window signs per storefront are permitted.
 - 2) Signs shall be allowed only on windows located on the first floor.
 - 3) The area of graphic shall not exceed 50% of the window area on which the sign is placed.
 - 4) The graphic shall be gold or silver leaf, white vinyl or multi-colored and applied to the first or second surface of the glass.
- d. Glass Door Signage
- 1) A maximum of one window sign per glass door is permitted.
 - 2) The area of graphic shall not exceed 2 s.f.
 - 3) The graphic shall be gold or silver leaf, white vinyl or multi-colored and applied to the first or second surface of the glass.
4. Building Addresses
- a. Address numbers for all retail/commercial businesses shall be located in a consistent location.
 - b. A maximum of one wall-mounted or glass address per store front is permitted.
 - c. The address color shall contrast with the surface color on which the address is mounted.
 - d. Numerals and letterforms shall not exceed 6 inches in height and shall be centered on the wall or window over entrance doors.
5. Street Identification Signage
- a. Street identification signs shall be provided at each roadway intersection, clearly visible and in conformance with the City's subdivision and street standards.
 - b. Street identification signs shall be designed to enhance the overall streetscape appearance. Compatibility with architectural themes established for the plan area is encouraged.
6. Flags and Banners
- a. Commercial Flags
 - 1) All commercial storefronts shall be permitted to display one flag hung from the building façade so as not to block pedestrian traffic.
 - 2) Flag hardware shall have a metal base with a wooden post mounted at a 45° angle from the ground plane.

- 3) Flag dimensions shall not to exceed 36 inches wide by 60 inches tall.
- b. Banners
 - 1) Commercial Community Banners
 - a) Banner size shall not to exceed 100 s.f.
 - b) Banner signs are considered temporary signs (30 day maximum posting limitation) and shall only be utilized for temporary events and occasions.
 - 2) Community Lightpost Banners
 - a) The theme and content of commercial light post banners shall be approved by the City.
 - b) Lightpost banner hardware shall consist of metal straps and be post mounted around a lightpost.
 - c) The bottom of a banner shall not hang lower than 96 inches above ground plane and shall be mounted away from vehicular traffic.
 - d) Lightpost banner dimensions shall not exceed 24 inches wide by 60 inches tall.

Directional Signage

Directional signage shall be used to provide wayfinding information to all residents and visitors. Signs shall be easy to read at vehicular speeds and have the proper amount of contrast.

1. Vehicular/Pedestrian Signage – Directional signs (e.g., stop signs, yield signs, etc.) for vehicular roadways shall be implemented in accordance with the state vehicle code. Opportunities for architectural enhancement of directional sign standards shall be explored during project design.
2. Directory Signage
 - a. Directories shall be provided in multi-tenant centers to aid in the identification of tenants and specific facilities.
 - b. Directories shall be strategically placed to minimize their use and maximize their effectiveness.

Regulatory Signage

Regulatory signage postings, such as speed limits and pedestrian crossings, shall be an integral part of the signage system and enhance the community while maintaining clarity. All regulatory sign graphics and messages shall adhere to the State of California, Department of Transportation (Caltrans) specifications.

Sign Maintenance

1. All signs shall be maintained in a safe and attractive condition at all times. Upon notice from the City, a tenant shall be required (within 30 days) to refurbish any signage that does not meet the standards stated within the Master Sign Program. Damaged signs, from either a natural or man caused occurrence, shall be replaced within 30 days.
2. Any sign illumination malfunction shall be replaced or remedied within 10 days.

Prohibited Signs

1. Any signage not specifically permitted by the Master Sign Program or the City's Development Code (Section 17.38.050, Prohibited Signs) is prohibited.
2. No sign, part thereof or attachment thereto shall flash, scintillate, move, change color, appear to change color or intensity, or contain any part or attachment that does the same, unless approved by the City.
3. Pole signs to identify individual users are prohibited.

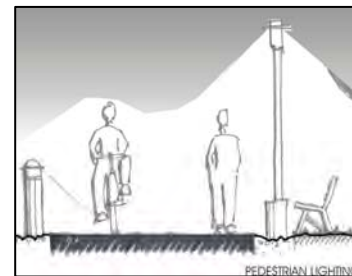
LIGHTING

Lighting fixtures shall be chosen to complement and enhance the architectural style of the buildings and be compatible with the character of the area.

Carefully placed lighting can improve the safety and security of the site and enhance visibility at intersections and pedestrian crossings.

Pedestrian Lighting

1. Pedestrian areas shall be illuminated with pole-mounted fixtures that are not greater than 14 feet in height or bollard type fixtures, step lights and recessed seat-wall type fixtures.
2. Accent lighting is appropriate to illuminate building entries and architectural features, as well as landscape plantings and trees.
3. Light fixtures shall use cut-off reflectors so the light source is not visible from adjacent properties. All project lighting shall meet "dark-sky" criteria.



Parking Lot Lighting

1. Parking lot pole light fixtures shall be uniform in design and lamp type throughout the project.
2. Pole heights shall not exceed 24 feet, including a 30 inch high concrete base, where needed, to avoid damage from vehicles.
3. Lamping shall be uniform in color and provide state-of-the-art energy efficiency.

LANDSCAPING

General

1. The Village at SouthHill property is part of a rich and long history of the Sierra Foothills. The planning and design detail of project incorporates elements from Grass Valley's past that contribute to a sense of place and reinforce the identity and authenticity of The Village at SouthHill as an integral part of the City of Grass Valley and Sierra Foothills. The design principles incorporated into the project consider use of indigenous materials, timeless construction techniques and the broader principles of land stewardship and the wise use of natural resources.
2. Sustainable design strives to strike a balance among the social, economic and environmental resources in ways that benefit quality of life while conserving resources. Sustainable design is a core concept of The Village at SouthHill provides long term benefits which include reduced material consumption, energy savings, water conservation and the minimization of impacts to the environment. The sustainable landscape practices required within the plan area include the following principles:
 - a. New planting requires the installation of irrigation systems, maintenance and other methods to ensure viability of the new plants. Therefore, it is important to preserve, to the greatest extent possible, existing native plant species.
 - b. New plant materials in the open space areas shall be selected to augment the existing native plant communities and to support habitat within the plan area. All landscaped areas shall use native or naturalizing plants from The Village at SouthHill Plant Palette. These plants will require less water, maintenance and fertilizers and have a greater chance for survival in the mountain environment.
 - c. Deciduous trees shall be used for solar control by providing shade in the summer while allowing light and warmth in the winter. Deciduous trees shall be used along the trails, at seating areas and at key focal points such as entries, plazas, recreation areas and the vehicular bridge for visual accent.
 - d. Materials in the landscape shall be chosen for their appropriateness to local history, culture and climate. Existing stone from the plan area and locally available stone shall be used where appropriate.
 - e. Water conserving and slow application irrigation systems shall be used. Systems shall be carefully designed for different sun and shade conditions. Plants with the same water requirements shall be grouped together to avoid over or under watering.
 - f. Use of permeable pavements is encouraged to reduce runoff into the storm water system and help filter the storm water. Permeable pavements are especially appropriate for parking lots and driveways which occupy extensive amounts of land and where driving speed is not an issue.
3. All plantings within restored and enhanced creek and pond fringe areas shall utilize the native plant palette unless a suitable alternative is identified.

4. All plant materials shall be spaced to provide adequate areas for signage and lighting and emergency apparatus such as fire hydrants and utility lines.
5. Landscaping shall allow adequate sight distance for motorists at all project intersections and entries.
6. The type and location of proposed landscaping shall enhance and accentuate existing views within the plan area and shall respect existing environmental considerations including solar orientation and prevailing wind patterns.
7. Landscaping shall be protected from vehicular and pedestrian encroachment through the use of curbs, bumper stops, raised planters and boulders.
8. Plant palettes shall include a mixture of deciduous and evergreen species.
9. Trees shall be a minimum size of 15 gallons. It is recommended that larger trees be incorporated into prominent accent or activity areas to diversify plantings.
10. Shrubs shall be a minimum of 1 gallon. It is recommended that project designs incorporate a mixture of 1 and 5 gallon plantings to increase the effectiveness of screen plantings.
11. Landscape drainage shall not flow across adjacent walks, plazas, parking lots or other paved surfaces. Drainage shall be collected and routed to storm drains, vegetated swales or other on-site detention systems.
12. Landscaping shall be used to define prominent areas such as project entries and edges by utilizing accent plantings and massing.
13. Plant materials used for screening shall primarily utilize evergreen species to ensure adequate cover during the winter season.
14. Unless otherwise specified, all landscape and revegetation work shall be consistent with the Village at SouthHill Plant Palette.

Details

1. Plazas

In order to reinforce the “Village Character” of the C-2 Zoning District, spaces between buildings and connections to parking lots shall be utilized as plazas and gathering places. These spaces provide excellent opportunities for a diversity of plantings to accentuate the unique architecture of the district. Guidelines for these areas shall include the following:

- a. Accent paving is strongly encouraged.
- b. The use of sculptures and public art pieces is recommended.
- c. Plantings shall incorporate annual/perennial, accent trees, shrubs and ground covers from a plant palette.

- d. The use of indigenous/native boulders for seating areas and visual interest is recommended.
 - e. Moveable site furnishings such as tables and chairs are strongly encouraged.
2. Parking Lot Planting

In order to visually soften the impact of parking areas and to encourage summer shade, the following guidelines shall be employed for parking lot design:

- a. Parking lot trees shall be planted within islands.
- b. Each planting area shall be of appropriate size and shall have adequate irrigation for the landscaping.
- c. Sight lines shall be maintained at entry points to each parking aisle within parking lots.
- d. For plants that are best suited for parking lot planting, please refer to the Plant Palette.
- e. The primary use of deciduous trees is encouraged to provide shade in summer and allow sun in winter. However, the integration of conifers into the landscape is encouraged to provide year-round screening opportunities.
- f. Vehicle overhang allowance into landscaping or over sidewalks shall be 2 feet maximum.

GREEN BUILDING CONCEPTS

Green Design

The purpose of Green (sustainable) Design is to use resources that are renewable, thereby reducing environmental impacts and ensuring that resources are available for future generations. Green Design concepts shall be applied to architectural and landscape designs used within The Village at SouthHill. Incorporating “green” concepts into building and landscape design provides the following benefits:

- 1. Conserves natural resources.
- 2. Reduces utility costs.
- 3. Improves air and water quality.
- 4. Contributes to overall “quality of life.”
- 5. Reduces solid waste.
- 6. Enhances comfort and health.
- 7. Enhances Asset Value and Profits

8. Optimizes lifecycle economic performance.
9. Minimizes strain on local infrastructure.

Green Design Principles

1. *Bicycling Features* – Promote bicycling and transportation efficiency by linking development to The Village at SouthHill trails and off-site trail system. Non-residential and multi-family residential buildings shall provide bicycle parking spaces or storage for no less than 15% of the parking space capacity provided for cars.
2. *Open Community* – Designate all streets and sidewalks in the Master Plan area as available for general, public use and not gated.
3. *Walkable Streets* – Provide appealing and comfortable pedestrian street environments in order to promote pedestrian activity. Design and build the project incorporating the following features:
 - a. A principal, functional entry of each building has a front façade that faces a public space, such as a street.
 - b. Continuous sidewalks or equivalent provisions for walking are provided along both sides of all streets within the project.
4. *Universal Accessibility* – Enable the widest spectrum of people, regardless of age or ability, to more easily participate in their community life, by increasing the proportion of areas that are useable by people of diverse abilities.
 - a. For any residential areas, apply the accessible design provisions of the FHAA and the Rehabilitation Act to facilities and rights-of-way.
 - b. Regarding residential accessibility design provisions, an accessible entrance can be located at the front, side or back of the residential unit, which may sometimes be determined by the topography of the site.
5. *Energy Efficiency in Buildings* – Encourage the design and construction of energy efficient buildings to reduce air, water and land pollution and environmental impacts from energy projection and consumption. This may be achieved by whole building energy simulation that demonstrates less building energy consumption when compared to prescriptive standards.
6. *Reduced Water Use* – Minimize water use in buildings and for landscape irrigation, thereby reducing the impact to natural water resources and burden on local serving utilities for water supply and wastewater systems.

For irrigation, use only captured rainwater, recycled wastewater, recycled graywater or water treated and conveyed by a public agency specifically for non-potable uses. Or, install landscaping that does not require permanent irrigation systems. Temporary irrigation systems used for plan establishment are allowed only if removed within one year of installation.

7. *Minimize Site Disturbance During Construction* – Conserve existing natural areas and protect trees to provide habitat and promote biodiversity.
8. *Solar Orientation* – Achieve enhanced energy efficiency by creating optimum conditions for the use of passive and active solar strategies.
9. *Light Pollution Reduction* – Minimize light trespass from the site, reduce sky-glow to increase night sky access, improve nighttime visibility through glare reduction and reduce development impacts on nocturnal environments.

Green Design Intent

The following summarizes overall design strategies to explore when designing new buildings.

1. Site buildings to take advantage of solar orientation and prevailing breezes. Proper building orientation facilitates the use of natural daylighting. South and west facing windows shall have sun shading devices. Buildings that utilize shading devices and natural ventilation, along with ceiling fans, generally reduce both heating and cooling loads.
2. Site buildings to minimize grading and earthwork. This reduces construction costs, such as those associated with retaining systems and drainage redirection, and minimizes impact to the soil erosion and downstream water impacts.
3. Include sufficient space in trash disposal and/or service areas to accommodate recycling programs.

Power Consumption

Incorporating the following energy-saving concepts into building designs will reduce energy consumption and increase personal comfort.

1. *Natural Cooling* – Any combination of natural cooling techniques can be used to reduce overheating buildings. Use deep window overhangs and /or trellises, primarily on south and west facing glass, to provide a balance between summer cooling and winter heating through solar gain. Use deciduous trees to shade west facing windows. Natural cooling reduces the need for air conditioning, saves money on energy bills and utilizes “fresh air” to make buildings more comfortable.
2. *Passive Solar Heating* – Passive solar systems provide heat to the building structure through south facing windows, in conjunction with thermal mass. Locate windows that face within 30° of due south and have the ability to store excess heat in massive elements, such as slab floors or stone fireplaces. Passive solar design can reduce heating requirements by 30% to 50%.
 - a. *Consider Pre-Plumbing for Solar Water Heating* – Insulated copper pipes are pre-installed from the attic to a hot water closet or mechanical room for future solar installation. Provide sufficient south facing roof area for collectors and access to mechanical room piping.

- b. *Consider Photovoltaic (PV) Systems* – PV systems collect the sun’s energy and convert it into electricity. Excess electricity may be sent back into the utility grid for a credit on electric bills. All PV systems shall be integrally designed into the roof structure.
- c. *Solar Water System* – Solar water heating systems use solar panels to collect heat from the sun. The hot water is stored for use at a later time. Water pre-heated by a solar system can also supplement use of a standard water heater. Provide sufficient south facing roof area for collectors and space in a hot water closet for the additional hot water storage tank. Soar hot water systems can pay back in as little as five years.
- d. *Consider Radiant Heating Systems* – Radiant heating is up to 30% more efficient than forced air heating systems. Radiant heat may be installed in zones that allow users to adjust the temperature in various areas of the building, based on usage and desired comfort level.
- e. Construction quality to meet or exceed typical Energy Star®, HERS, air leakage and duct leakage testing.
- f. High efficiency lighting and controls.

Energy Star® Appliances 

The installation of Energy Star® certified appliances is encouraged. These appliances are significantly more efficient in their use of water and electricity. Most Energy Star® appliances are available in stainless steel, black, white and cabinet integrated finishes. At a minimum, the following appliances are recommended.

1. *Dishwasher* – The most water efficient dishwashers currently on the market use about four gallons of hot water per load, which is half as much as the least efficient units. Dishwashers using half the amount of water as a standard dishwasher also require half as much energy to heat the water.
2. *Refrigerator* – The refrigerator is a big power consumer. Energy Star® refrigerators incorporate a number of advanced features to save energy while keeping food fresh. They are readily available in side-by-side, freezer top or bottom models and many also offer through-door ice and water features.
3. *Clothes Washer* – Horizontal axis washing machines (front loaders) use 60% less energy than top loaders, due to far lower water consumption. Energy Star® washers often spin dry clothes better resulting in overall energy conservation, especially during the drying process.
4. Energy Star® also certifies heating and cooling equipment, such as air-conditioners, furnaces, boilers, heat-pumps and thermostats.



5. Use high efficiency equipment, programmable thermostats and instantaneous water heaters.

Wood Materials

1. Reclaimed wood helps reduce the number of trees harvested for building construction. With its usual attractive and rustic appearance, reclaimed lumber gives buildings a timeless character.
2. When new wood is required, ask for lumber certified by the Forest Stewardship Council (FSC). The FSC provides a credible guarantee that the lumber comes from a well managed forest. FSC certified lumber generally does not cost any more than non-certified lumber and assures you are not attributing to clear cutting practices that degrade ecosystems.



Window Selection

1. Consider utilizing Energy Star® labeled windows. These windows are twice as efficient as the average window produced just ten years ago. The products are designed to reduce heat loss and increase solar gain to provide warmer buildings in the winter and cooler buildings in the summer. Energy Star® windows are available in every aesthetic design and are operable to allow fresh air ventilation during summer months. Product features include dual panes, low-emissive coatings (Low-e) and wood or compost frames.



2. Recommended energy efficient standards are noted below:

| | Windows and Doors | Skylights |
|---------------------------------|-------------------|---------------|
| U-Factor | 0.35 or below | 0.45 or below |
| Solar Heat Gain Coefficient | 0.55 or below | 0.55 or below |
| Visible Light Transmittance (T) | 0.70 or more | 0.70 or more |

Insulation

1. Consider upgrading insulation to exceed California Title 24 requirements. Properly installed will reduce the demand for heating and cooling, making buildings more comfortable and energy efficient.
2. Preference shall be given to loose and spray cellulose insulation products which are made from 100% recycled newspaper and treated with borates for fire and insect resistance. Spray cellulose wall insulation is mixed with less toxic binders to adhere to stud and joist cavity surfaces, while completely filling cavities and reducing air movement within wall cavities, deterring moisture intrusion and flame spread. It also reduces infiltration, further contributing to a quieter, more comfortable and energy efficient building. Cellulose insulation is also formaldehyde-free which preserves air quality.
3. Cotton batt products shall be used for batt insulation methods. These products tend to use recycled cotton products, including denim, do not itch, and do not contain chemicals that degrade air quality. When using batt insulation, expandable foam and caulk shall be used to prevent infiltration. Holes between floors and between stud cavities around wire runs shall be sealed. Caulk top and bottom plates on all floors.
4. Fiberglass shall be used only as a last resort for projects. Many fiberglass insulation products include recycled glass, formaldehyde-free binders, non-asphalt adhesives or colored dyes. Formaldehyde-free binders reduce indoor air quality problems. Fiberglass insulation may contain up to 30% recycled glass.




5. The following illustrates recommended application levels.

| Zone | Roof Ceiling | | Walls and Floor at Exterior and Over Garage | | | Basement | | |
|------|--------------|-----------|---|-------|------------|-----------|----------|----------|
| | Attic | Cathedral | Wall | Floor | Crawlspace | Slab Edge | Interior | Exterior |
| 16 | R-49 | R-38 | R-21 | R-30 | R-21 | R-7 | R-7 | R-7 |

Paints and Stains

1. Consider the use of Green Seal® certified products. Green Seal® is an independent, non-profit organization that strives to achieve a healthier, cleaner environment by identifying and promoting products and services that create less toxic pollution and waste.
2. When Green Seal® products are not practical, request low Volatile Organic Compound (VOC) products. These products are better for air quality in their use and manufacturing. In interior applications, low VOC products significantly reduce the emission of chemicals. Many of these products are water based to facilitate easier clean-up.

Flooring

1. Consider using reclaimed/salvaged of FSC certified wood for wood flooring when possible.
2. Solid wood floor boards are preferred over engineered products. Solid wood floors can be refinished numerous times, have lower amounts of embodied energy and are not manufactured with multiple compounds that may impact indoor air quality.
3. Green Seal® certified carpets, backing and padding are recommended for wall-to-wall carpets. These products are better for indoor air quality and are generally recyclable at the end of their useful life. Recycled products are just as durable and attractive as conventional carpets. Most carpet manufacturers today offer Green Seal® carpet lines. 
4. Local natural stone is encouraged for tiling. Where ceramic tile is used (for floors, walls and counters), tiles that contain high amounts of recycled content are encouraged.

Paving and Hardscape

Consider using permeable surfaces that allow water to percolate into the soil. For driveways, walkways and patios, utilize gap-spaced unit pavers, decomposed granite, gravel or grass-stabilization systems. Allowing storm water percolation reduces the volume of storm water runoff and sheet flow, while replenishing local aquifers and reducing soil erosion. Additional benefits include reducing irrigation requirements and lowering the risk of flooding. These permeable surfaces may be effectively used in combination with biofiltration, bioswales and even invisible (subsurface) detention systems.

Alternative Transportation

The Village at SouthHill Master Plan has also been designed with a variety of pedestrian and bicycle paths, therefore all buildings with the Zoning District are encouraged to provide amenities, such as bike racks and shower facilities for those employees who wish to utilize alternative forms of transportation.